

SITE PLAN

IN THE

TOWN OF DRACUT

MIDDLESEX COUNTY
COMMONWEALTH OF MASSACHUSETTS

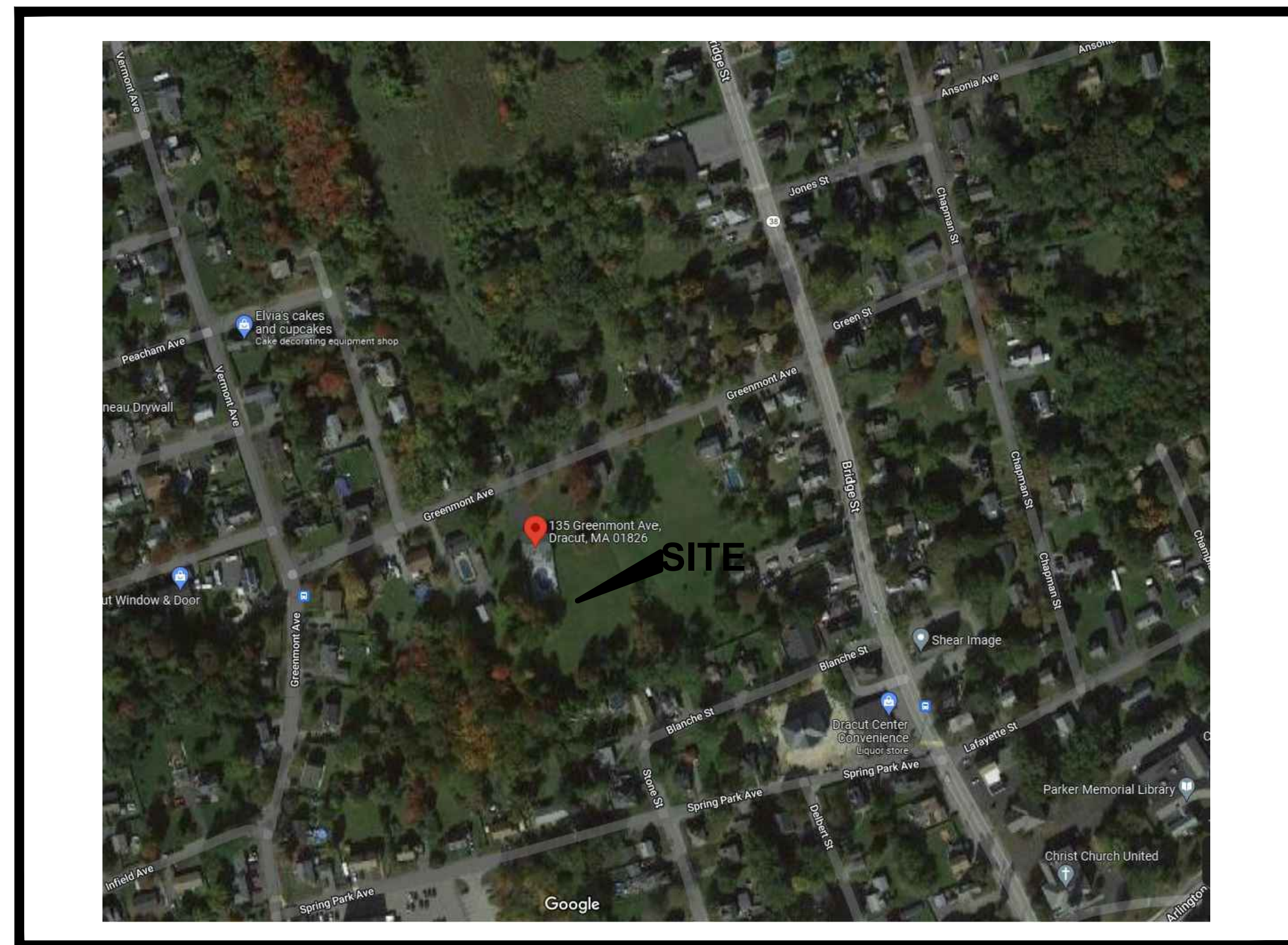


TABLE OF CONTENTS

SHEET	TITLE
C-101	Existing Conditions
C-102	Layout & Utilities
C-103	Grading & Drainage
C-104	Erosion Control
C-105	Landscape & Lighting
C-106	Details & Sections
C-107	Details & Sections
C-108	Details & Sections
C-109	Details & Sections
C-110	Emergency Access

APPROVED DRACUT ZONING BOARD OF APPEALS

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

SIGNATURE _____ DATE _____

For Registry Use Only

"I certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

Signature _____ Date _____

Notice of Appeals

I, _____, being the Town Clerk of the Town of Dracut, hereby certify that notice of this plan has been received and recorded at this office on _____, and no appeal of such has been received during the twenty days next.

Town Clerk _____ Date _____

Greenmont Commons

135 Greenmont Avenue

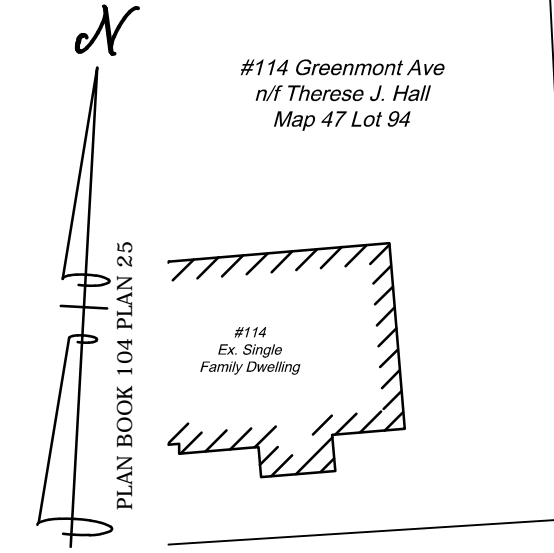
Dracut, MA

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04/10/24	REVS PER ZONING BOARD OF APPEALS MEETING AND ZBA PEER REVIEW COMMENTS	KML
11/29/23	REVS PER ZONING BOARD OF APPEALS MEETING AND ZBA PEER REVIEW COMMENTS	KML
DATE	REVISION	BY

May 18, 2023 Dwg. No. 2021-235



APPROVED DRACUT ZONING BOARD OF APPEALS

SIGNATURE _____ DATE _____

For Registry Use Only

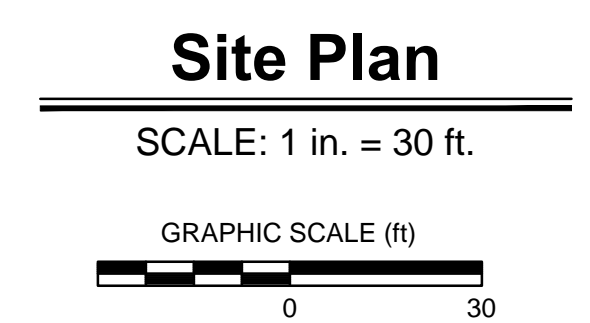
"I certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

Signature _____ Date _____

Notice of Appeals

I, _____, being the Town Clerk of the Town of Dracut, hereby certify that notice of this plan has been received and recorded at this office on _____, and no appeal of such has been received during the twenty days next.

Town Clerk _____ Date _____



REFERENCES

- DEEDS:
A. Deed Recorded in the Middlesex North District Registry of Deeds in Book 31043 Page 105.
- PLANS:
A. "Plan of Land in Dracut, Mass"; prepared by Dana F. Perkins & Sons, Inc., Civil Engineers & Surveyors; dated June 23, 1966; recorded in the Middlesex North District Registry of Deeds in Book of Plans 104 Page 25.
- DOCUMENTS:
A. Comprehensive Permit Application Submittal for Branco Perego; by Cornerstone Land Consultants, Inc.; dated April 5, 2022.

NOTES

- PURPOSE: This plan is to meet the filing requirements of the Dracut Zoning Board of Appeals to obtain a Comprehensive Permit Application Approval. These Plans shall not be utilized for construction. Construction documents will be issued once the Comprehensive Permit is approved and the documents are requested in writing by the Applicant.
- PROPERTY LINES: Existing property lines shown are from Reference 1A and 2A.
- OWNER & APPLICANT: The subject property shown is owned by Jose Luiz "Branco" Perego; 135 Greenmont Avenue, Dracut, MA as shown by current assessor's records. The applicant is Riverbank Properties.
- ZONING: All lots are within the R-1 (Residential) Zoning District.
- TOPOGRAPHY: Site details shown are the result of an instrument survey performed in February through April 2022. Vertical datum shown is the North American Vertical Datum of 1988 (NAVD88).
- FLOODPLAIN: The property is located in a Zone X area and is not located within a 100 Year floodplain area according to the most recent FEMA maps: Map #25017C0141E dated June 4, 2010.
- ACEC: The property is not located within an Area of Critical Environmental Concern.
- NHESP: There are no estimated habitats of rare wildlife or certified vernal pools on the property.
- RESOURCE AREA: Existing resource area flags were identified in the field by this office and the flagging was located by instrument survey as described by Note 5. Permanent sign markers to be installed at BVW Wetflags A1-A6.
- LIMIT OF WORK: The location of the erosion control within the wetland buffer area will be the limit of work line as shown. Erosion Control to be installed 1 ft off of the western and southern property lines.
- SOILS: Soils on the site have been classified in accordance with the USDA Middlesex County Soil Report Version 12, dated February 26, 2010, as 310A - Woodbridge fine sandy loam, 0-3% slopes and 71B - Ridgebury fine sandy loam, 3-8% slopes. See Reference 3A for additional USDA soil information.
- UTILITIES: Known existing underground utilities are shown on the Site Plan. A determination as to the existence of any other underground utilities has not been made and the absence of same is not implied or intended. The contractor shall contact the proper authorities to verify the location of all existing underground utilities and structures prior to construction.
- ORDER OF CONDITIONS: Construction on this site is subject to an Order of Conditions to be issued by the Dracut Conservation Commission and Massachusetts Department of Environmental Protection.
- CERTIFICATION: Certification is made regarding the stated purpose of this plan only, as given in Note 1. This plan shall not be used for the layout of lot lines or structures and shall not be used for any other purpose without the written consent of Cornerstone Land Associates, LLC.

LEGEND

- | | | |
|------------|------------|---------------------------------------|
| EXISTING | PROPOSED | GRADE CONTOUR |
| 100 | 100 | BORDERING VEGETATIVE WETLAND FLAGGING |
| WF-1 | | STONE WALL DRILL HOLE |
| | | CONCRETE BOUND MARKER |
| TEXT, Text | TEXT, Text | GENERAL TEXT |
| | | 50 FT NO BUILD ZONE |
| | | 100 FT BVW BUFFER ZONE |

Design by	BY	REVISION	DATE
KML	KML	RENS PER ZONING BOARD OF APPEALS MEETING	10/5/23
Survey by	KML	RENS PER ZONING BOARD OF APPEALS MEETING AND ZBA PEER REVIEW COMMENTS	04/10/24
Draft by			
KML			
Check by			
JAV/TAJ			

REVISION	DATE
RENS PER ZONING BOARD OF APPEALS MEETING	10/5/23
RENS PER ZONING BOARD OF APPEALS MEETING AND ZBA PEER REVIEW COMMENTS	04/10/24

Cornerstone Land Associates, LLC
Civil & Structural Engineering
Land Surveying • Land Development
22 Dean Avenue • Dracut, MA 01828 • (978) 853-0102
info@cornerstoneland.com

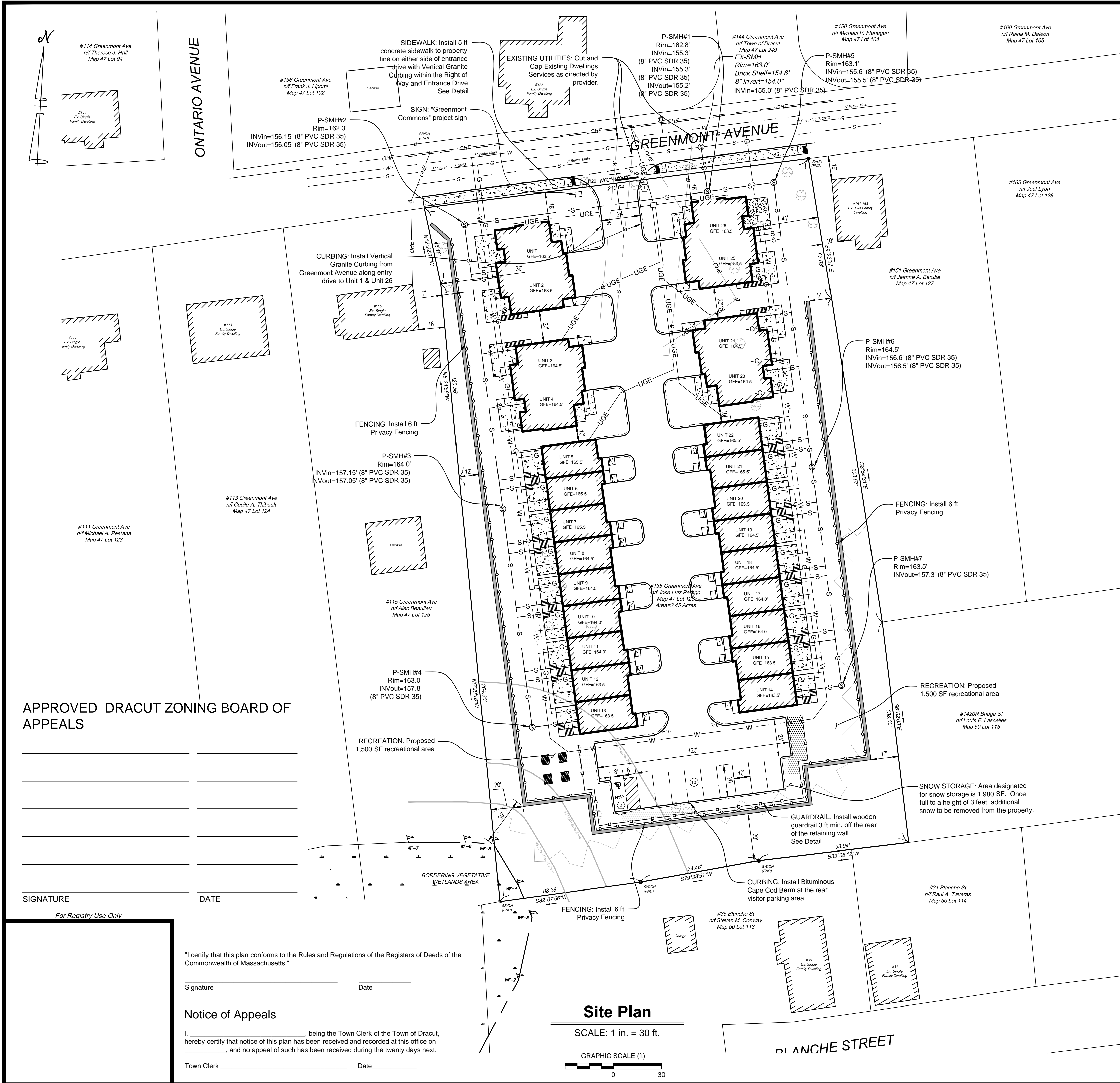
SCALE: As Shown
DATE: May 18, 2023
PREPARED FOR:
Riverbank Properties
908 Lawrence Street
Lowell, MA 01852

EXISTING CONDITIONS PLAN
Comprehensive Permit Application
135 GREENMONT AVENUE
DRACUT, MASSACHUSETTS

JOB NO.: 2021-235
SHEET: 1 of 10

DRAWING NO.
C-101

Certification not valid without
ORIGINAL stamp and/or signature



REFERENCES

1. DEEDS:
A. Deed Recorded in the Middlesex North District Registry of Deeds in Book 31043 Page 105.
2. PLANS:
A. "Plan of Land in Dracut, Mass"; prepared by Dana F. Perkins & Sons, Inc., Civil Engineers & Surveyors; dated June 23, 1966; recorded in the Middlesex North District Registry of Deeds in Book of Plans 104 Page 25.
3. DOCUMENTS:
A. Comprehensive Permit Application Submittal for Branco Perego; by Cornerstone Land Consultants, Inc.; dated April 5, 2022.

NOTES

1. PURPOSE: This plan is to meet the filing requirements of the Dracut Zoning Board of Appeals to obtain a Comprehensive Permit Application Approval for 26 apartment units. These Plans shall not be utilized for construction. Construction documents will be issued once the Comprehensive Permit is approved and the documents are requested in writing by the Applicant.
2. PROPERTY LINES: Existing property lines shown are from Reference 1A and 2A.
3. OWNER & APPLICANT: The subject property shown is owned by Jose Luiz "Branco" Perego; 135 Greenmont Avenue, Dracut, MA as shown by current assessor's records. The applicant is Riverbank Properties.
4. ZONING: All lots are within the R-1 (Residential) Zoning District.
5. TOPOGRAPHY: Site details shown are the result of an instrument survey performed in February through April 2022. Vertical datum shown is the North American Vertical Datum of 1988 (NAV88).
6. FLOODPLAIN: The property is located in a Zone X area and is not located within a 100 Year floodplain area according to the most recent FEMA maps: Map #25017C0141E dated June 4, 2010.
7. ACEC: The property is not located within an Area of Critical Environmental Concern.
8. NHESP: There are no estimated habitats of rare wildlife or certified vernal pools on the property.
9. RESOURCE AREA: Existing resource area flags were identified in the field by this office and the flagging was located by instrument survey as described by Note 5. Permanent sign markers to be installed at BVW Wetflags A1-A6.
10. LIMIT OF WORK: The location of the erosion control within the wetland buffer area will be the limit of work line as shown. Erosion Control to be installed 1 ft off of the western and southern property lines.
11. SOILS: Soils on the site have been classified in accordance with the USDA Middlesex County Soil Report Version 12, dated February 26, 2010, as 310A - Woodbridge fine sandy loam, 0-3% slopes and 71B - Ridgebury fine sandy loam, 3-8% slopes. See Reference 3A for additional USDA soil information.
12. UTILITIES: The location of all existing subsurface sewage disposal systems and other utilities shown are approximate and must be confirmed by the respective utility authorities prior to any construction. The utility authorities shall also be consulted for their respective specifications prior to installation of all proposed utilities shown. All existing utilities to the existing dwelling to be demolished and cut and capped as required.

Proposed Sewer Flow from 26 Unit Multi Family Townhouse Development = 8,580 GPD.

- At a minimum, the builder shall utilize the following minimum utility sizing for each unit:
- A. Sewer Service Main Line -> Connection -> 8" SDR 35 PVC w/Min. Slope of 0.005 ft/ft
Individual Unit Connections -> 4" SDR 35 PVC w/Min. under concrete slab at a Slope of 1/4" per foot and Min. Cover of 5 ft
- B. Water Service Main Line -> 6" Class 52 Ductile Iron w/Tyton Joints
Individual Unit Connections -> 3/4" Type "K" Copper Tubing or Polyethylene Endopure PE-Class 200 piping w/Brass Curb Stop and 5/8" Meter
Fire Service Connections -> 2" Type "K" Copper Tubing or Polyethylene Endopure PE-Class 200 piping w/Brass Hose Connection. Location to be verified with Dracut Fire Department prior to installation.
- C. Gas Connection -> 1" MDPE Gas Pipe
D. Electric Connection -> 200 Amp Service within each unit

13. ORDER OF CONDITIONS: Construction on this site is subject to an Order of Conditions to be issued by the Dracut Conservation Commission and Massachusetts Department of Environmental Protection.
14. TRASH: The Trash Collection for the project will be collected from a Private Trash Service coordinated through the Property Maintenance company.
15. MAIL DELIVERY: The Project Team will work with the United States Postal Service Town of Dracut Post Master to determine the location of the Project Mailbox and delivery access.
16. CERTIFICATION: Certification is made regarding the stated purpose of this plan only, as given in Note 1. This plan shall not be used for the layout of lot lines or structures and shall not be used for any other purpose without the written consent of Cornerstone Land Associates, LLC.

LEGEND

- EXISTING
- 100
- WF-1
- TEXT, Text
- PROPOSED
- 100
- TEXT, Text
- GRADE CONTOUR
- BORDERING VEGETATIVE WETLAND FLAGGING
- STONE WALL DRILL HOLE
- CONCRETE BOUND MARKER
- GENERAL TEXT
- 50 FT NO BUILD ZONE
- 100 FT BVW BUFFER ZONE

Cornerstone Land Associates, LLC

Civil & Structural Engineering

Land Surveying - Land Development

22 Dean Avenue - Dracut, MA 01828 - (978) 853-0102

REVISION

DATE

11/29/23

03/01/24

04/10/24

DESIGN BY

KML

KML

KML

DRAWN BY

KML

KML

CHECKED BY

JAV/TAJ

DESIGNED BY

KML

SCALE: As Shown

DATE: May 18, 2023

PREPARED FOR:

Riverbank Properties

908 Lawrence Street

Lowell, MA 01852

LAYOUT & UTILITIES PLAN

Comprehensive Permit Application

135 GREENMONT AVENUE

DRACUT, MASSACHUSETTS

JOB NO.: 2021-235

SHEET: 2 of 10

DRAWING NO.

C-102

Certification not valid without ORIGINAL stamp and/or signature

DRAINAGE CHART

PCB#1
RIM=162.25
INVOut=159.00

PCB#2
RIM=162.50
INVOut=159.00

SWQU#1
RIM=162.85
INVIn=158.90 (12" ADS PCB#1)
INVIn=158.90 (12" ADS PCB#2)
INVOut=158.80 (12" ADS UDB)

PCB#3
RIM=162.00
INVOut=158.50

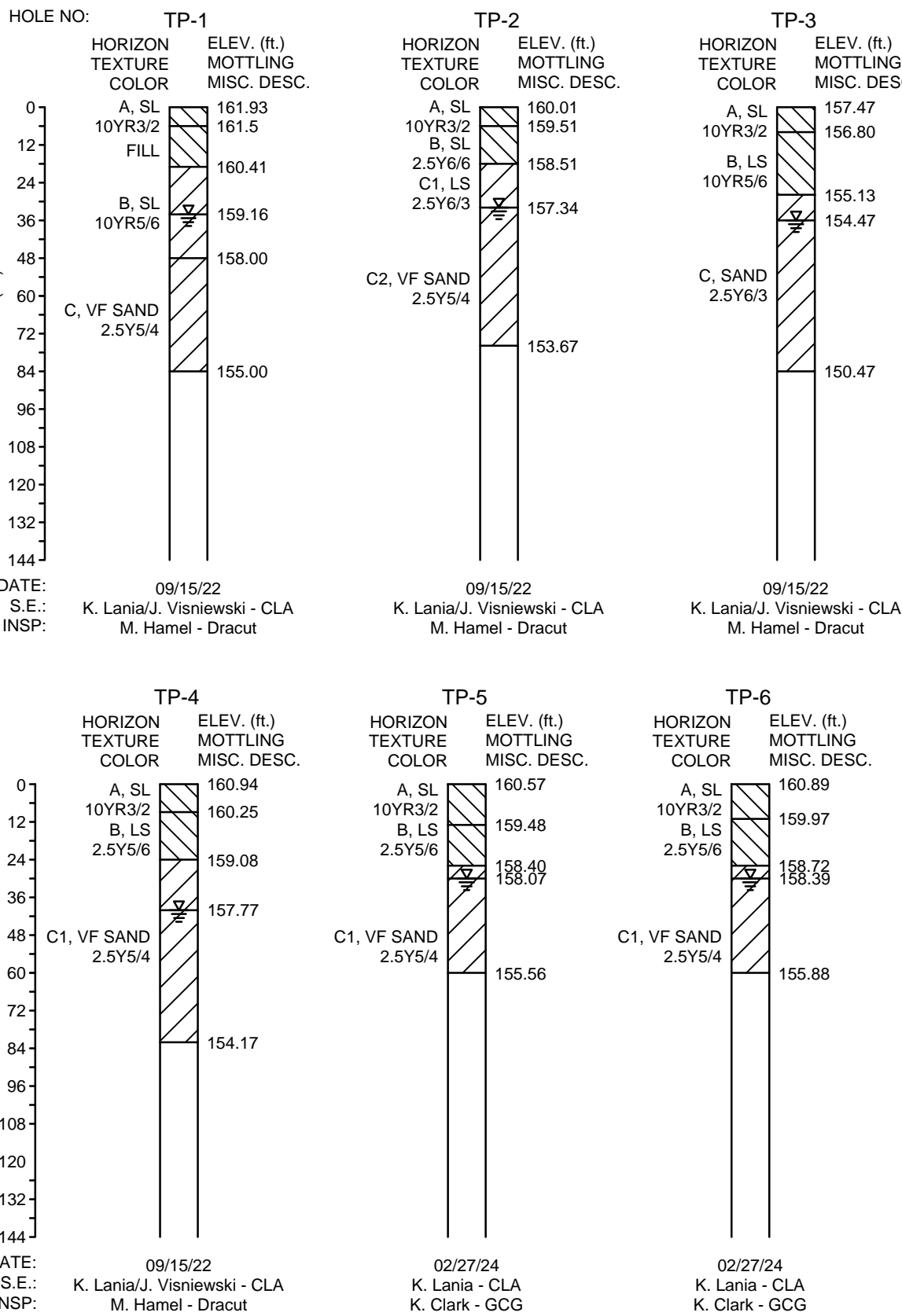
PCB#4
RIM=162.00
INVOut=158.50

SWQU#2
RIM=163.00
INVIn=158.15 (12" ADS PCB#1)
INVIn=158.15 (12" ADS PCB#2)
INVOut=158.05 (12" ADS UDB)

ADS PIPE RETENTION SYSTEM
INVIn=158.00 (12" SWQU#1)
INVIn=157.75 (12" SWQU#2)
INVOut=157.75 (12" OCS#1)
INVOut=157.00 (4" OCS#1)

OCS#1
RIM=163.20
INVIn=157.00 (12" ADS PIPE)
INVIn=156.90 (4" ADS PIPE)
INVOut=156.75 (12" PDMH#5)

SUBSURFACE TESTING
DEEP OBSERVATION HOLE LOGS



DEEP HOLE LEGEND

ESTIMATED SEASONAL HIGH GROUNDWATER

OBSERVED HIGH GROUNDWATER (None)

UNSUITABLE SOILS/MATERIALS

ACCEPTABLE SOILS

REFUSAL (None)

For Registry Use Only

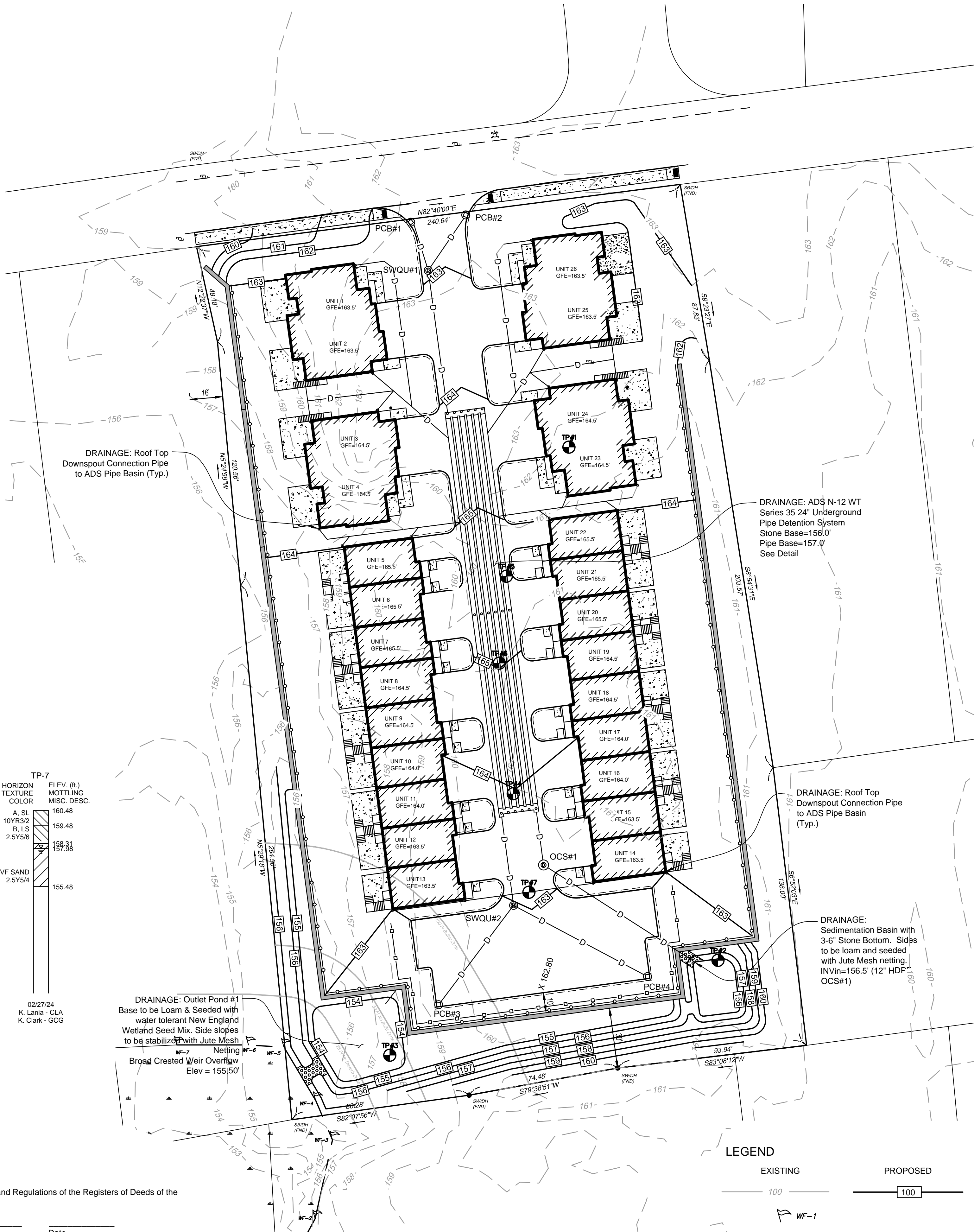
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Notice of Appeals

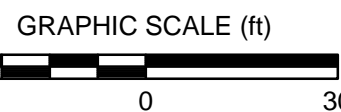
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Town Clerk _____ Date _____



Site Plan

SCALE: 1 in. = 30 ft.



LEGEND

EXISTING

PROPOSED

100

WF-1

TEXT, Text

TEXT, Text

GRADE CONTOUR

BORDERING VEGETATIVE WETLAND FLAGGING

STONE WALL DRILL HOLE

CONCRETE BOUND MARKER

GENERAL TEXT

50 FT NO BUILD ZONE

100 FT BVW BUFFER ZONE

Locus Map

Not To Scale

APPROVED DRACUT ZONING BOARD OF APPEALS

SIGNATURE _____ DATE _____

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Civil & Structural Engineering
Land Surveying - Land Development
22 Dean Avenue - Dracut, MA 01828 - (978) 853-0102
www.cornerstoneland.com

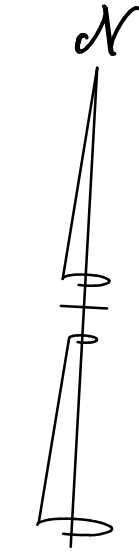
SCALE: As Shown
DATE: May 18, 2023
PREPARED FOR:
Riverbank Properties
908 Lawrence Street
Lowell, MA 01852

GRADING & DRAINAGE PLAN
Comprehensive Permit Application
135 GREENMONT AVENUE
DRACUT, MASSACHUSETTS

JOB NO.: 2021-235
SHEET: 3 of 10

DRAWING NO.
C-103

Certification not valid without
ORIGINAL stamp and/or signature



APPROVED DRACUT ZONING BOARD OF APPEALS

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
SIGNATURE	DATE

For Registry Use Only

"I certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

Signature _____ Date _____

Notice of Appeals

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Town Clerk _____ Date _____



Site Plan

SCALE: 1 in. = 30 ft.



LEGEND

EXISTING	PROPOSED	
100	100	GRADE CONTOUR
WF-1		BORDERING VEGETATIVE WETLAND FLAGGING
o		STONE WALL DRILL HOLE
TEXT, Text	TEXT, Text	CONCRETE BOUND MARKER
		GENERAL TEXT
		50 FT NO BUILD ZONE
		100 FT BVW BUFFER ZONE

EROSION CONTROL PLAN
Comprehensive Permit Application
135 GREENMONT AVENUE
DRACUT, MASSACHUSETTS

SCALE: As Shown
DATE: May 18, 2023
PREPARED FOR:
Riverbank Properties
908 Lawrence Street
Lowell, MA 01852

SCALE: As Shown
DATE: May 18, 2023
PREPARED FOR:
Riverbank Properties
908 Lawrence Street
Lowell, MA 01852

Cornerstone Land Associates, LLC
Civil & Structural Engineering
Land Surveying • Land Development
25 Dean Avenue • Dracut, MA 01828 • (978) 853-0102
cornerstoneland.com

DATE	REVISION	BY	Design by
11/29/23	REVIS PER ZONING BOARD OF APPEALS MEETING	KML	KML
04/10/24	REVIS PER ZONING BOARD OF APPEALS MEETING AND ZBA PEER REVIEW COMMENTS	KML	Survey by KML/TJA
			Draft by KML
			Check by JAV/TJA

Certification not valid without ORIGINAL stamp and/or signature

JOB NO.: 2021-235
SHEET: 4 of 10

DRAWING NO.
C-104

[illegible]

Town Clerk _____ Date _____



Blk.-Eyed Susan 
 Birdsfoot Trefoil 
 Tufted Hair Grass 
 Silky Dogwood 
 Juniper 
 Inberry 
 Arbovitae 
 Gray Birch 
 Red Maple 
 Silver Maple 
 Plum 

PLANT LIST			
QTY.	SIZE	COMMON NAME	BOTANICAL NAME
		TREES & SHRUBS	
2	1.5-2"	Purple Leaved Plum	Prunus cerasifera 'Thundercloud'
3	1.5-2"	Silver Maple	Acer saccharinum
8	1.5-2"	Red Maple	Acer rubrum
5	1.5-2"	Gray Birch	Betula populifolia
12	24-36"	Silky Dogwood	Cornus amomum
14	24-36"	Dense Inkberry	Ilex gabra
15	18-24"	Bar Harbor Juniper	Juniperus communis
30	4-5'	Mission Arborvitae	Thuja occidentalis 'Techni'
		PERENNIALS	
16	2 gal.	Black Eyed Susan	Rudbeckia fulgida 'Goldstrum'
33	5 gal.	Tufted Hair Grass	Deschampsia caespitosa
11	5 gal.	Birdsfoot Trefoil	Lotus Corniculatus

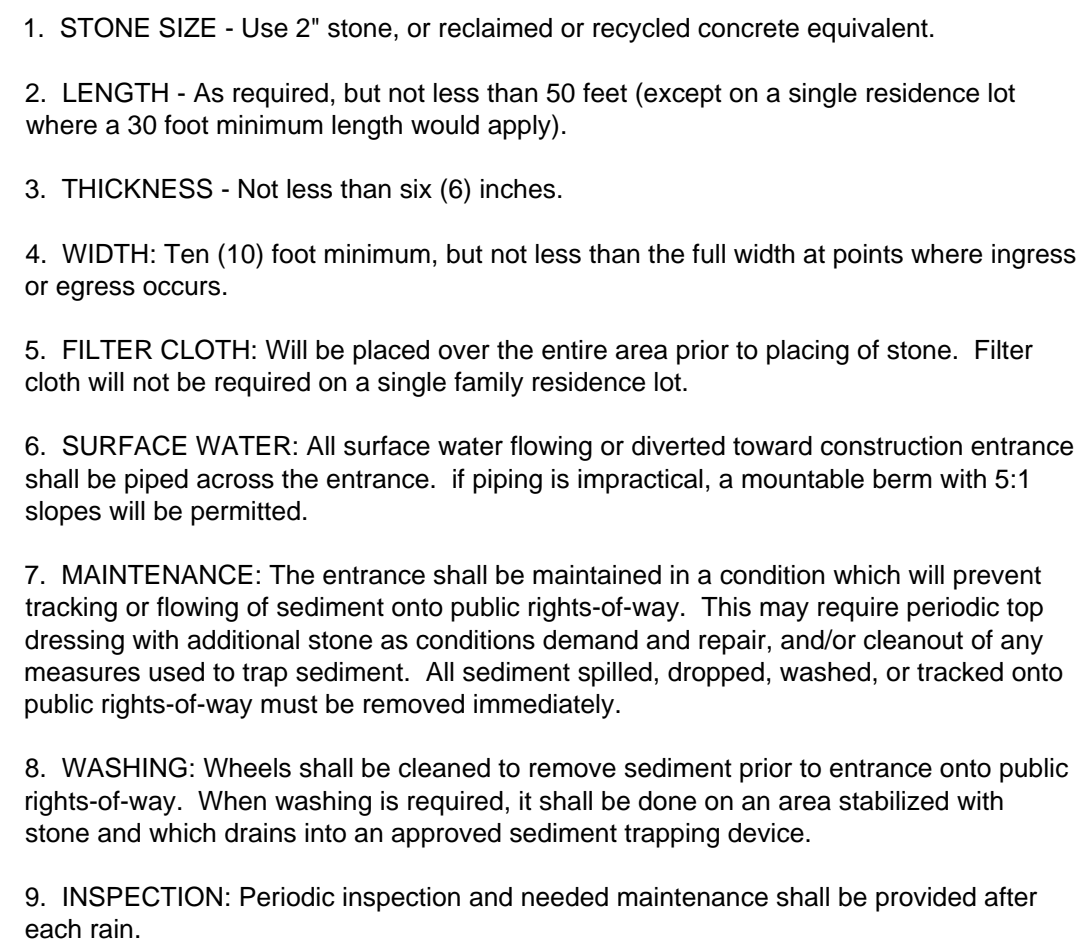
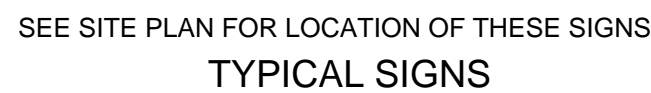
14. **GUARANTEE:** All plants shall be guaranteed for one full year from date of acceptance.

DATE	REVISION	BY	Design by
11/29/23	RUNS PER ZONING BOARD MEETING AND ZHA PER REVIEW COMMENTS	KML	KML
04/10/24	RUNS PER ZONING BOARD OF APPEALS MEETING AND ZHA PER REVIEW COMMENTS	KML	Survey by KML/TAJ
			Draft by KML
			Check by JAV/TAJ

Cornerstone Land Associates, LLC
Civil & Structural Engineering
Land Surveying • Land Development
25 Dean Avenue • Bristol, MA 01520 • (978) 835-0002
lancorstone@comcast.net

PREPARED FOR:
Riverbank Properties
908 Lawrence Street
Lowell, MA 01852

DRAWING NO.



STABILIZED CONSTRUCTION ENTRANCE



NOTE: Silt fence may be used alone or as a backing for staked haybales as specified by the Conservation Commission



STAKED HAYBALES

APPROVED DRACUT ZONING BOARD OF APPEALS

[illegible]

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Signature _____ Date _____

Notice of Appeals

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hereby certify that notice of this plan has been received and recorded at this office on
_____, and no appeal of such has been received during the twenty days next.

Town Clerk _____ Date _____

Details

Not To Scale

SCALE: As Shown
DATE: May 18, 2023

PREPARED FOR:
Riverbank Properties
908 Lawrence Street
Lowell, MA 01852

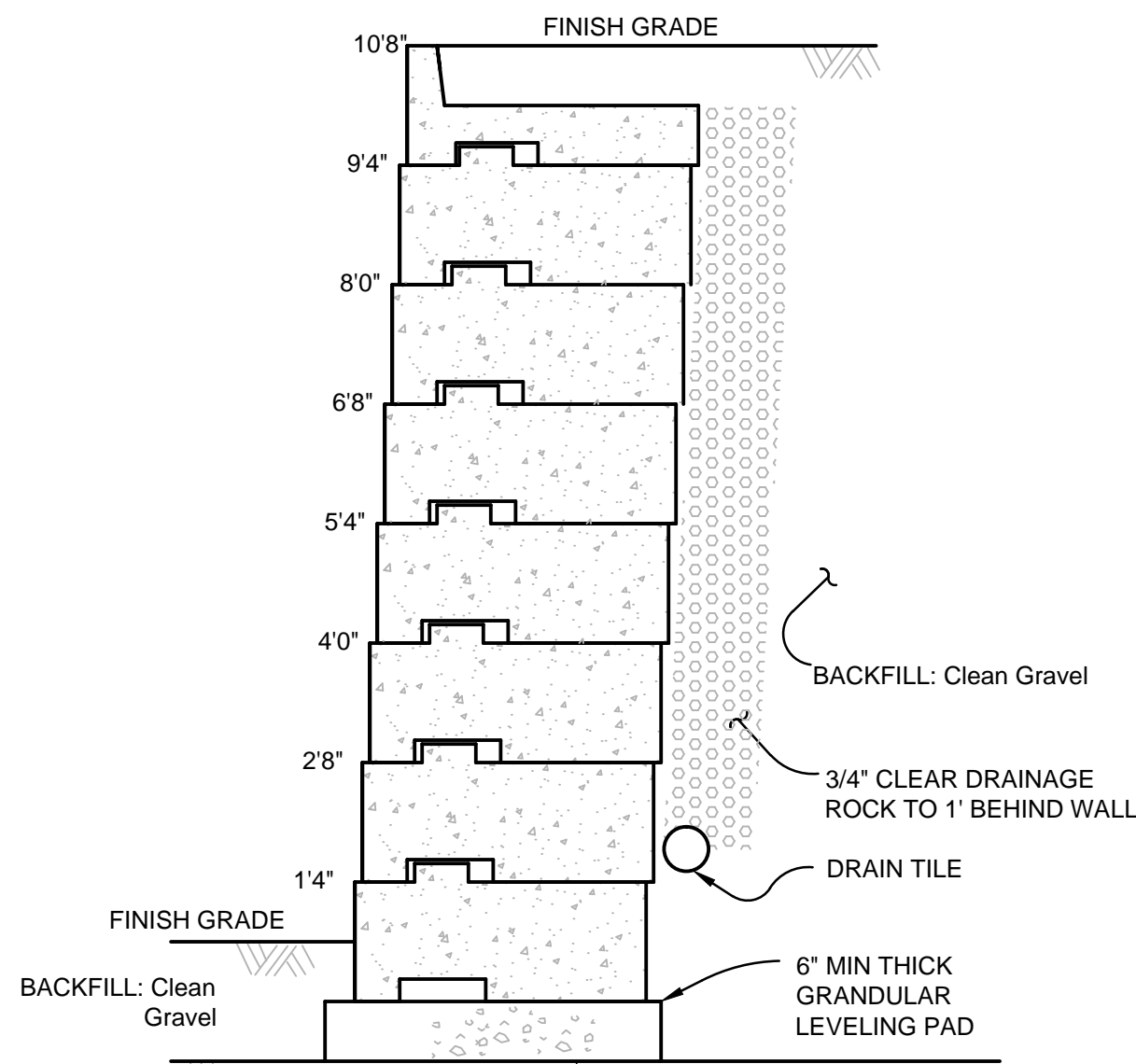
DETAILS PLAN
Comprehensive Permit Application
135 GREENMONT AVENUE
DRACUT, MASSACHUSETTS

JOB NO.: 2021-235
SHEET: 7 of 10

DRAWING NO.

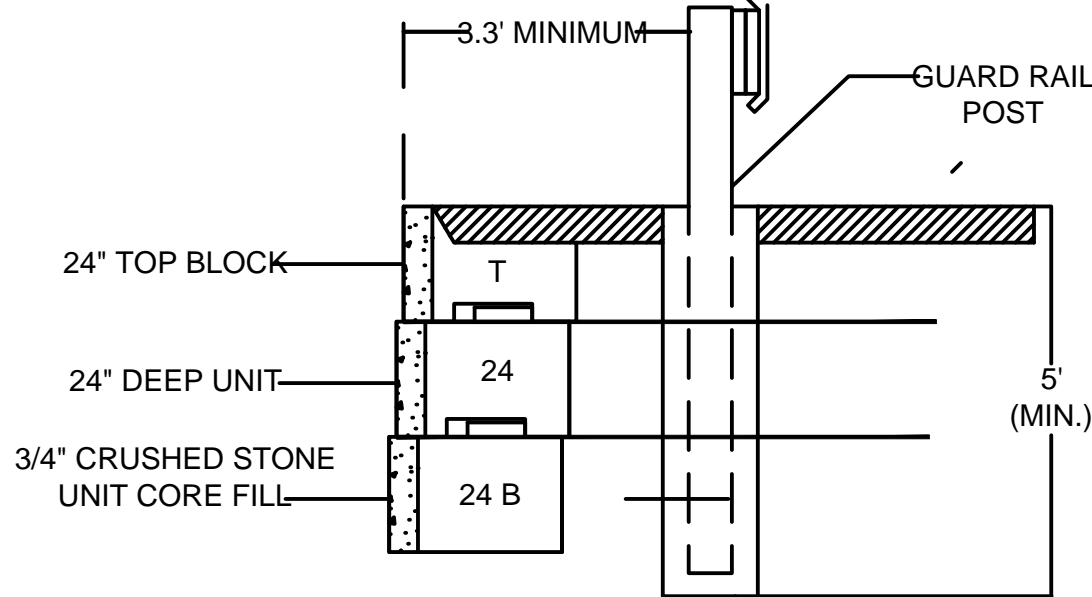
C-107

Certification not valid without
ORIGINAL stamp and/or signature



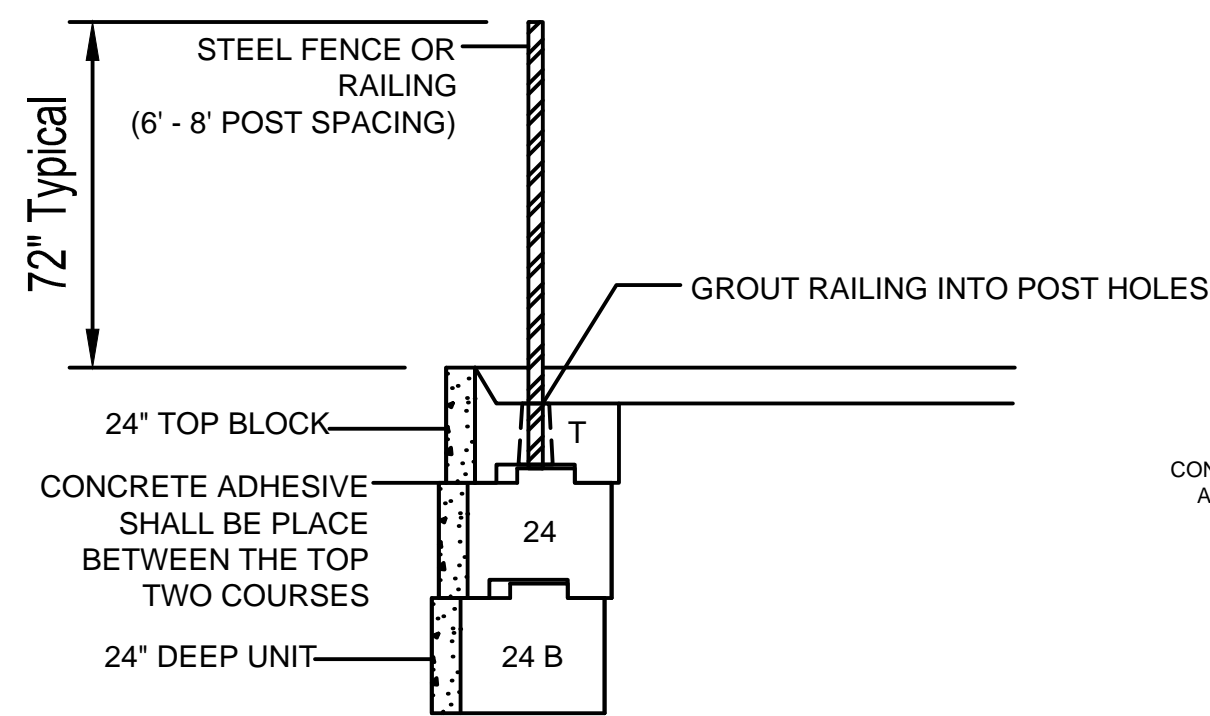
SHEA WALL SYSTEM

SHEA WALL SYSTEM NOTES:
 1. Maximum height non reinforced walls in silty clay (soil friction angle =28°) is 10'8", 9'4", and 5'4" for 45", 39", and 24" blocks. taller walls built with geo-grid or set-back effect.
 2. Concrete: 3,000 psi minimum after 28 days.
 3. Face texture is north shore granite
 4. Turning radius 15 feet.
 5. 1" setback per row on a straight wall (angle of batter 3.6°) curved wall 1-2.7" per row.
 6. If wall is taller than 4', a Structural Engineer is required.

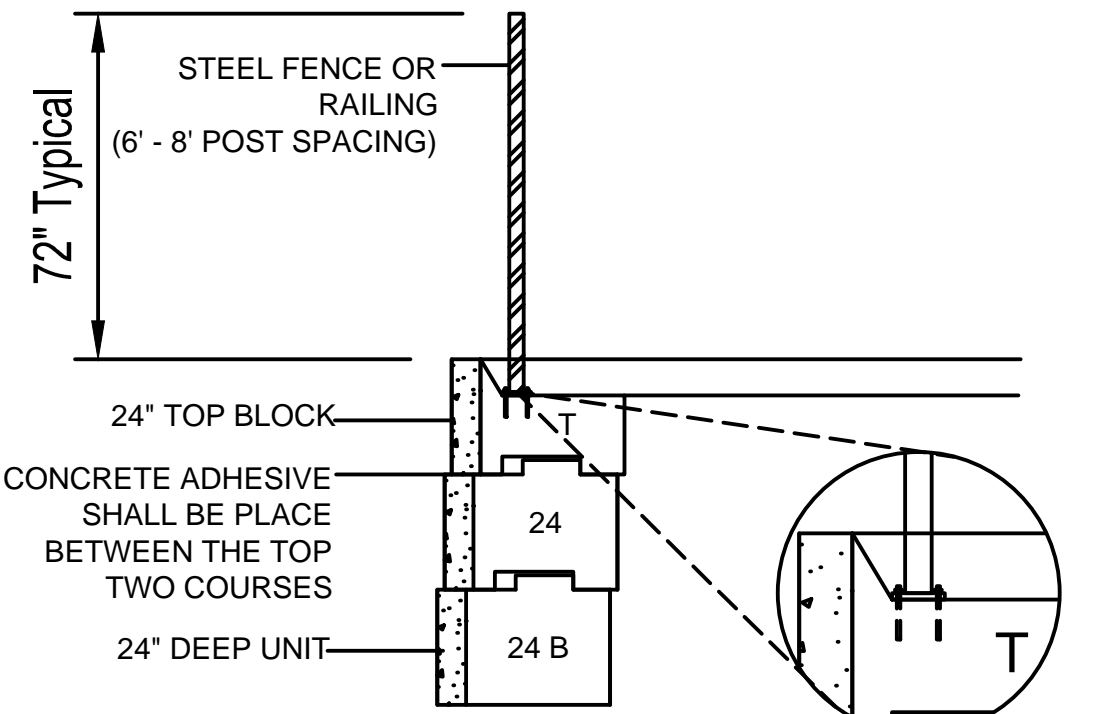


GUARD RAIL DETAIL
NOT TO SCALE

NOTES:
 1. PLACE SONOTUBES AT GUARD RAIL POST LOCATIONS. CUT GEOGRID AROUND SONOTUBES.
 2. GROUT GUARD RAIL POST INTO SONOTUBES.



FENCE SECTION DETAIL
PRECAST FENCE POST HOLES



FENCE SECTION DETAIL
PLATE AND ANCHOR BOLTS

NOTE:
 1. WHEN THE FENCE POST IS PLACED IN OR ON TOP OF THE TOP BLOCK, EACH TOP BLOCK SHOULD BE ADHERED TO THE BLOCK BENEATH IT. (PL PREMIUM IS THE RECOMMENDED CONCRETE ADHESIVE
 2. DETAIL DOES NOT APPLY TO PRIVACY FENCING OR OTHER APPLICATIONS WHERE WIND LOAD WOULD NEED TO BE TAKEN INTO ACCOUNT

APPROVED DRACUT ZONING BOARD OF APPEALS

SIGNATURE DATE

For Registry Use Only

"I certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

Signature Date

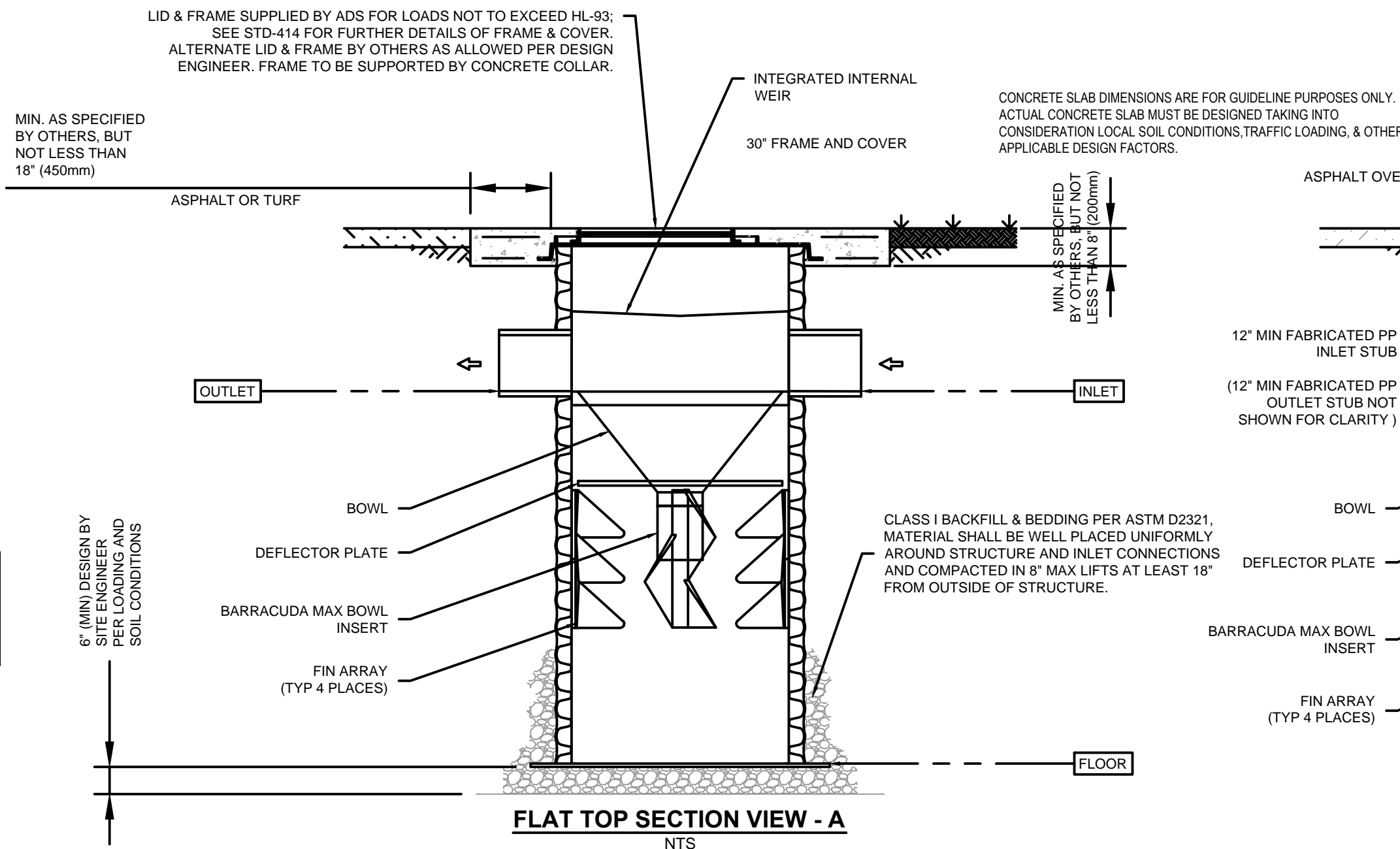
Notice of Appeals

I, _____, being the Town Clerk of the Town of Dracut, hereby certify that notice of this plan has been received and recorded at this office on _____, and no appeal of such has been received during the twenty days next.

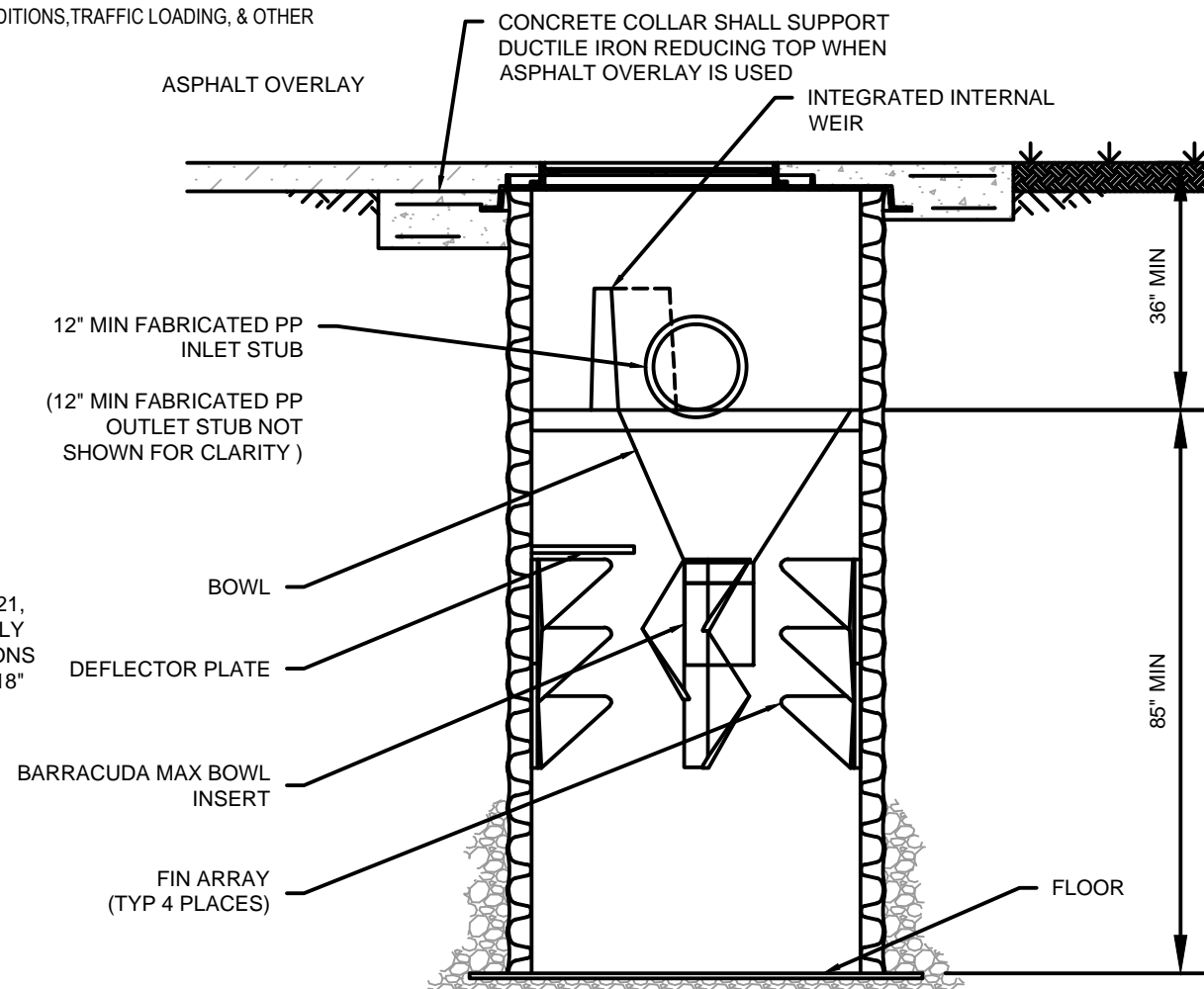
Town Clerk Date

Details

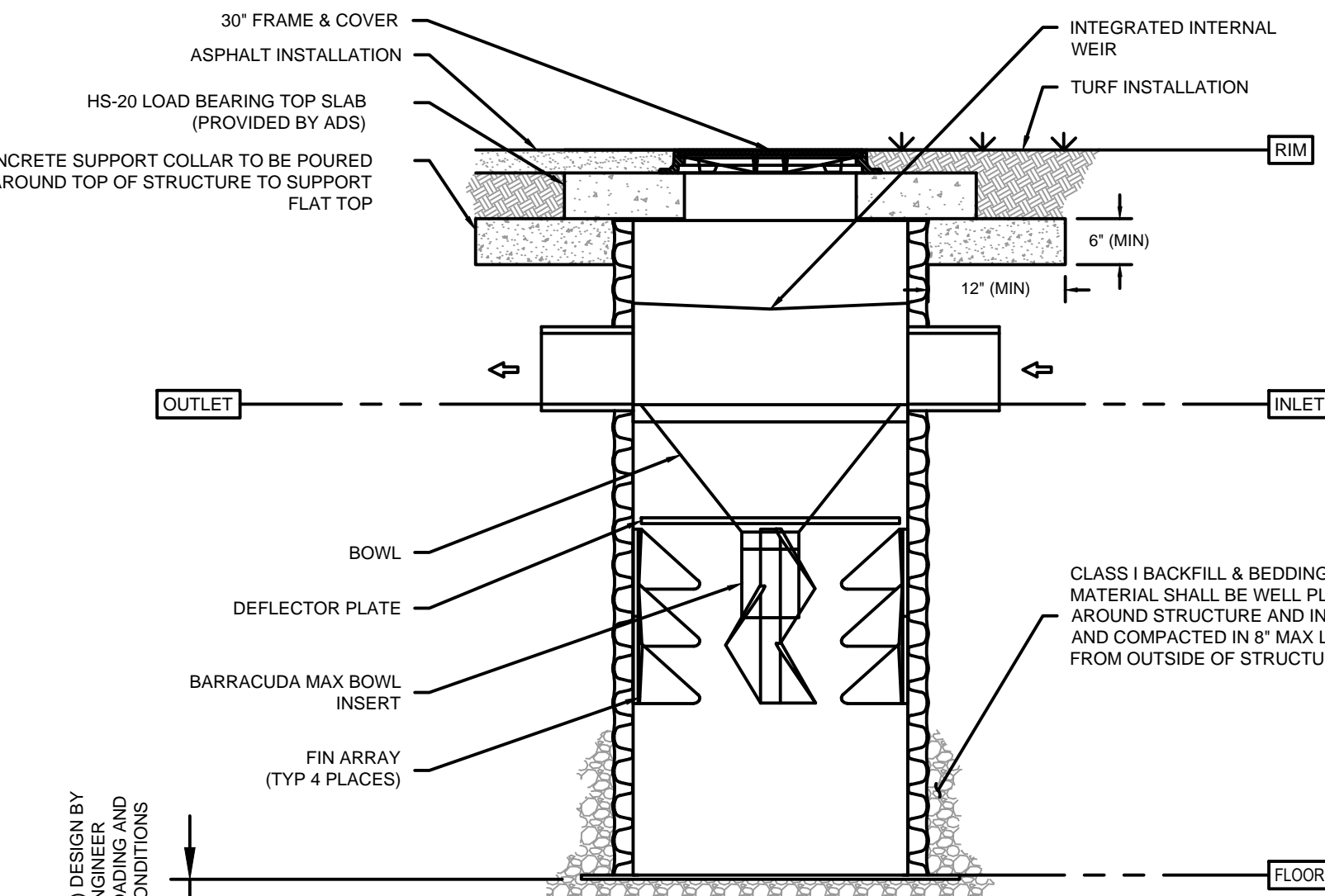
Not To Scale



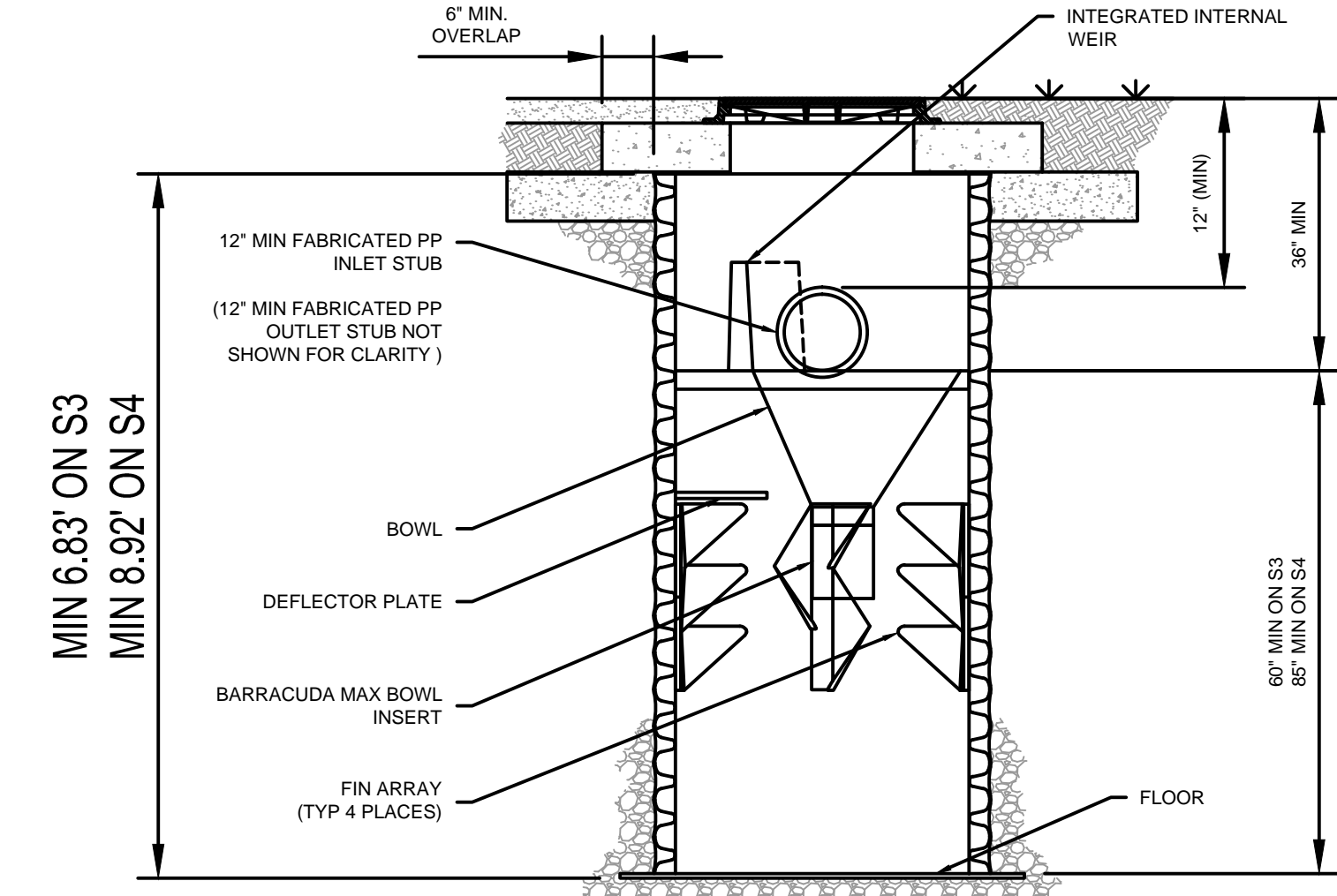
FLAT TOP SECTION VIEW - A
NTS



FLAT TOP SECTION VIEW - B
NTS

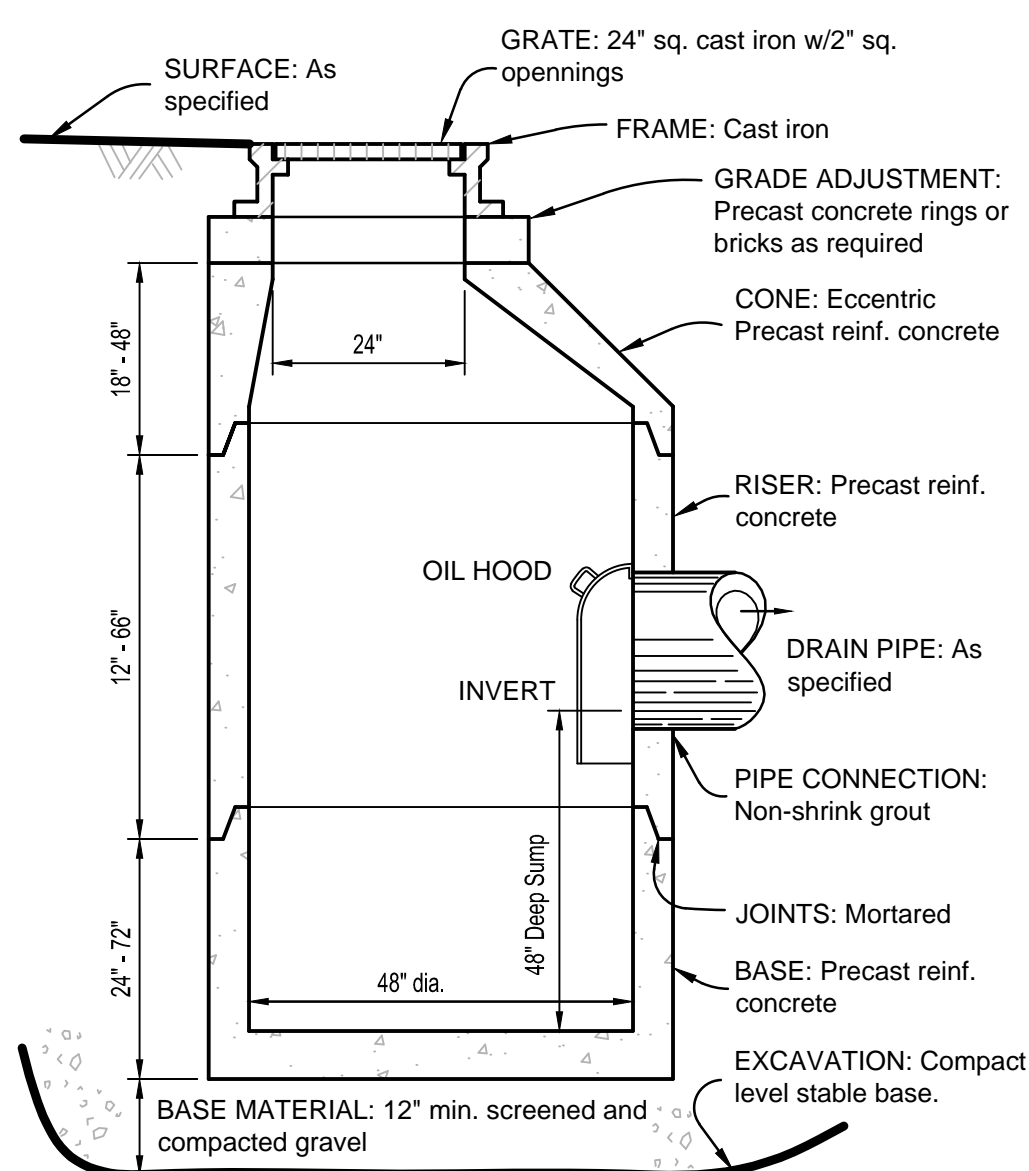


CONCRETE SLAB TOP SECTION VIEW - C
NTS



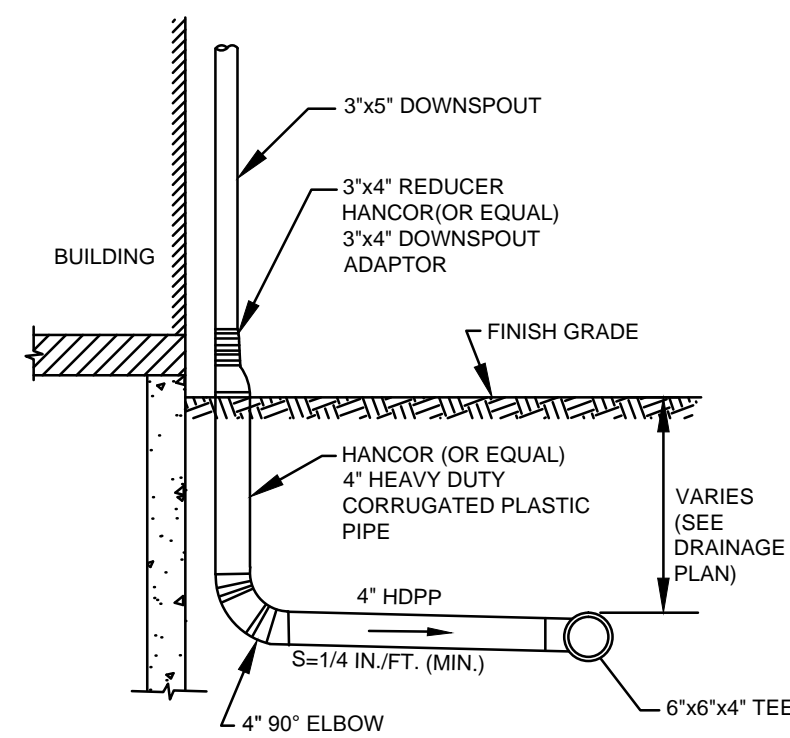
CONCRETE SLAB TOP SECTION VIEW - D
NTS

ADS BARRACUDA HYDRODYNAMIC SEPARATOR DETAIL

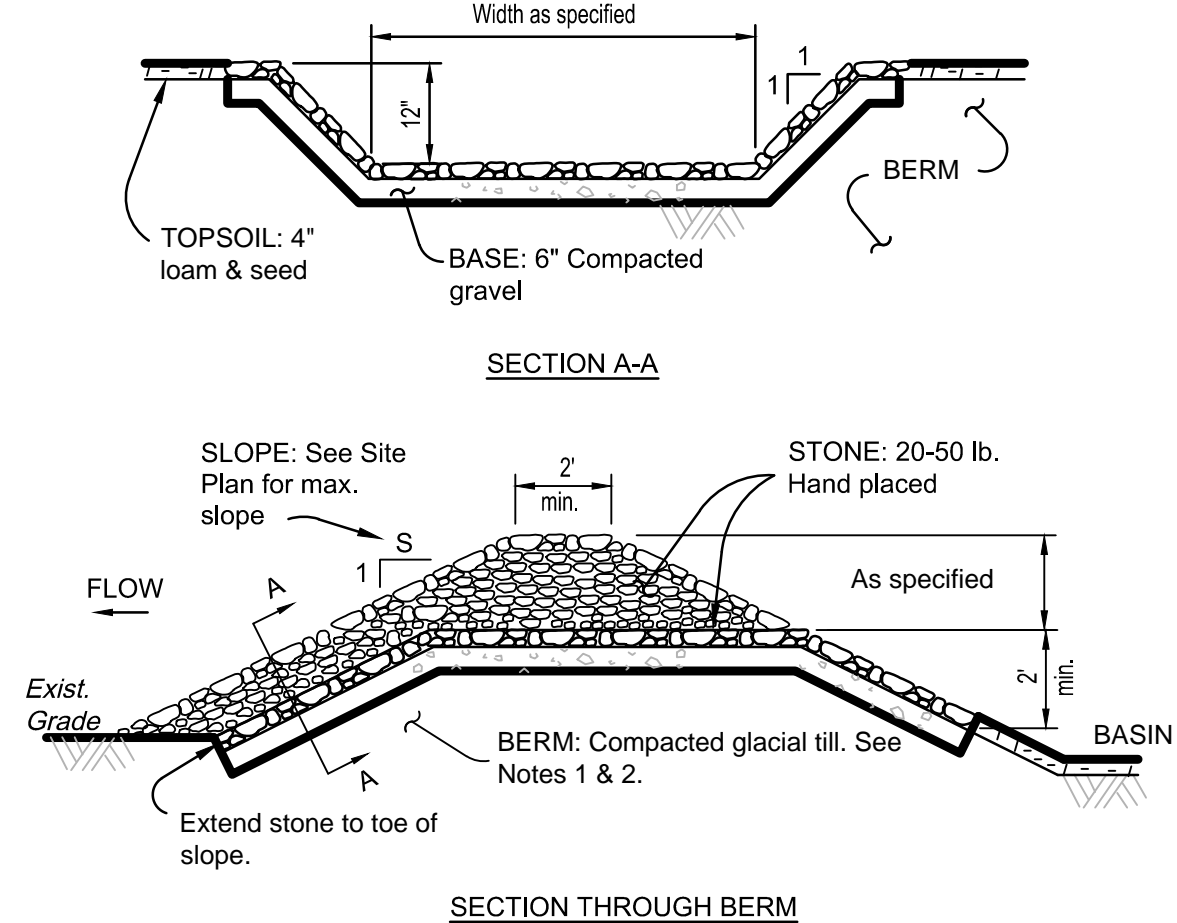


CATCH BASIN

NOTES
 1. All components and construction shall provide H-20 design loading per AASHTO HS-20-44 & ASTM C478.



FRONT ROOF DRAINS



EMERGENCY OVERFLOW SPILLWAY

NOTES
 1. Remove topsoil from beneath berm prior to construction.
 2. Berm shall be compacted to 95% optimum density (Proctor).

Certification not valid without
ORIGINAL stamp and/or signature

DATE	REVISION	BY	DESIGN BY
11/29/23	RENS PER ZONING BOARD OF APPEALS MEETING AND ZHA PER REVIEW COMMENTS	KML	KML
04/10/24	RENS PER ZONING BOARD OF APPEALS MEETING AND ZHA PER REVIEW COMMENTS	KML	KML

Comerstone Land Associates, LLC
 Civil & Structural Engineering
 Land Surveying - Land Development
 23 Shaw Avenue, Suite 100, Lowell, MA 01850 (978) 455-4116
 www.comerstoneland.com

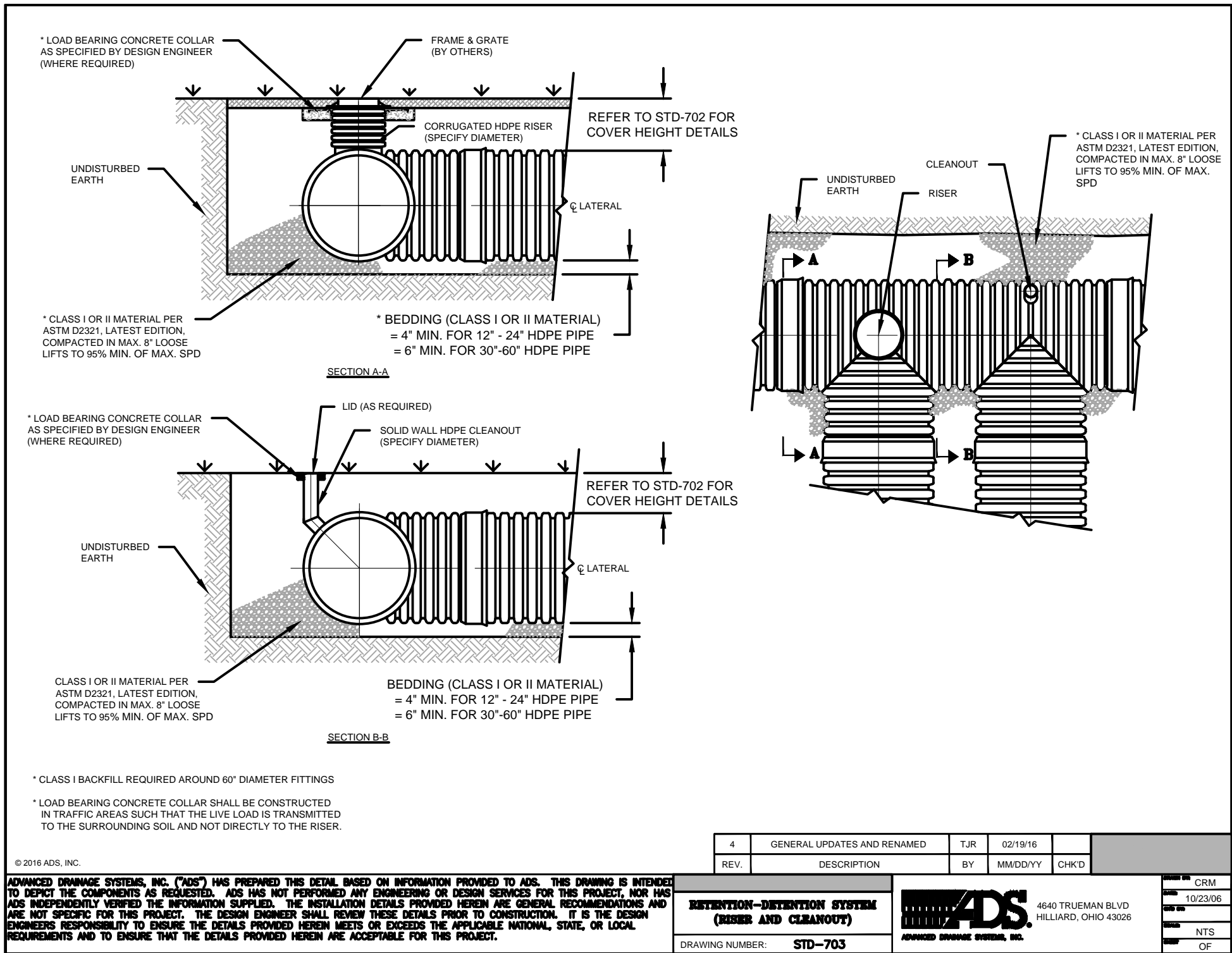
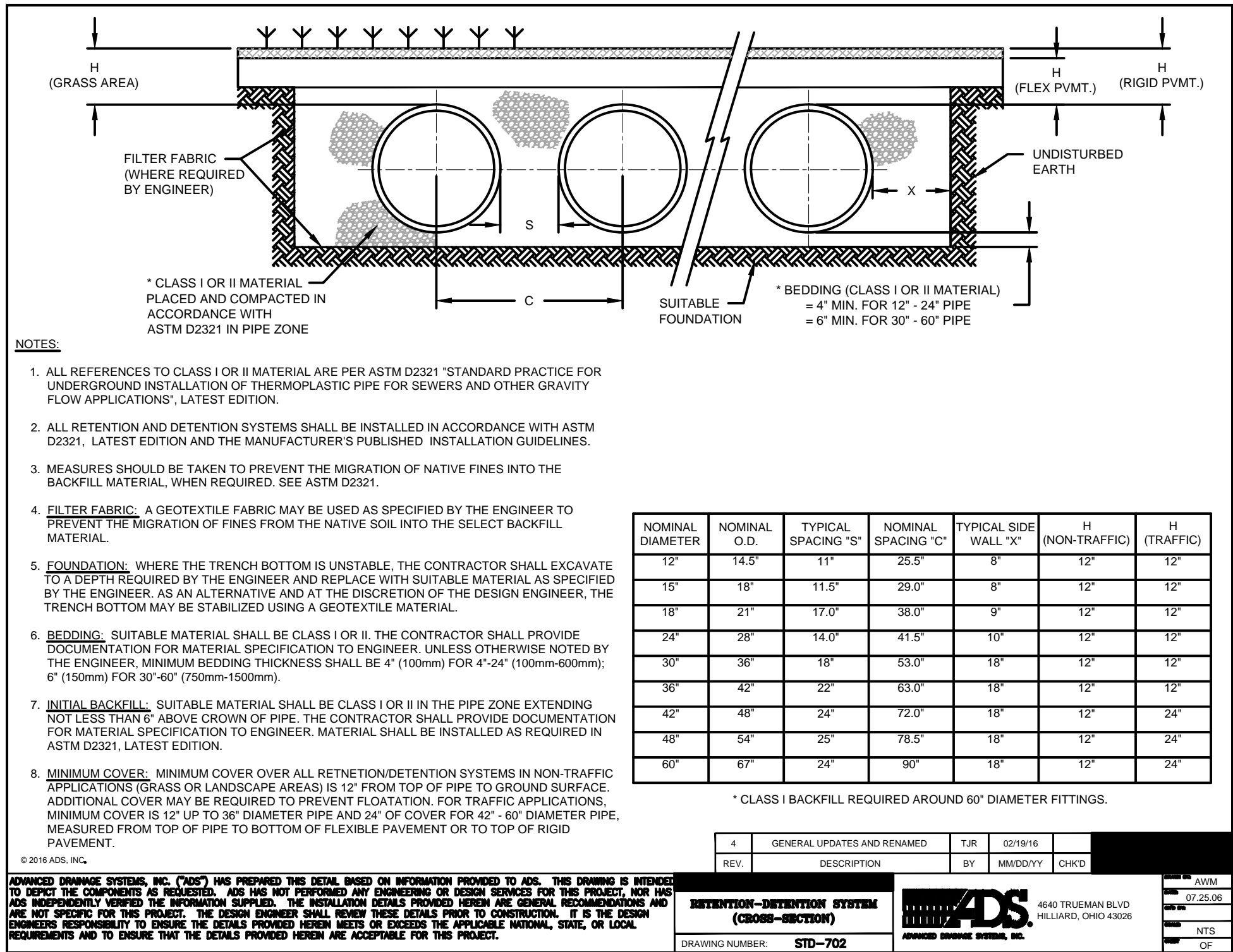
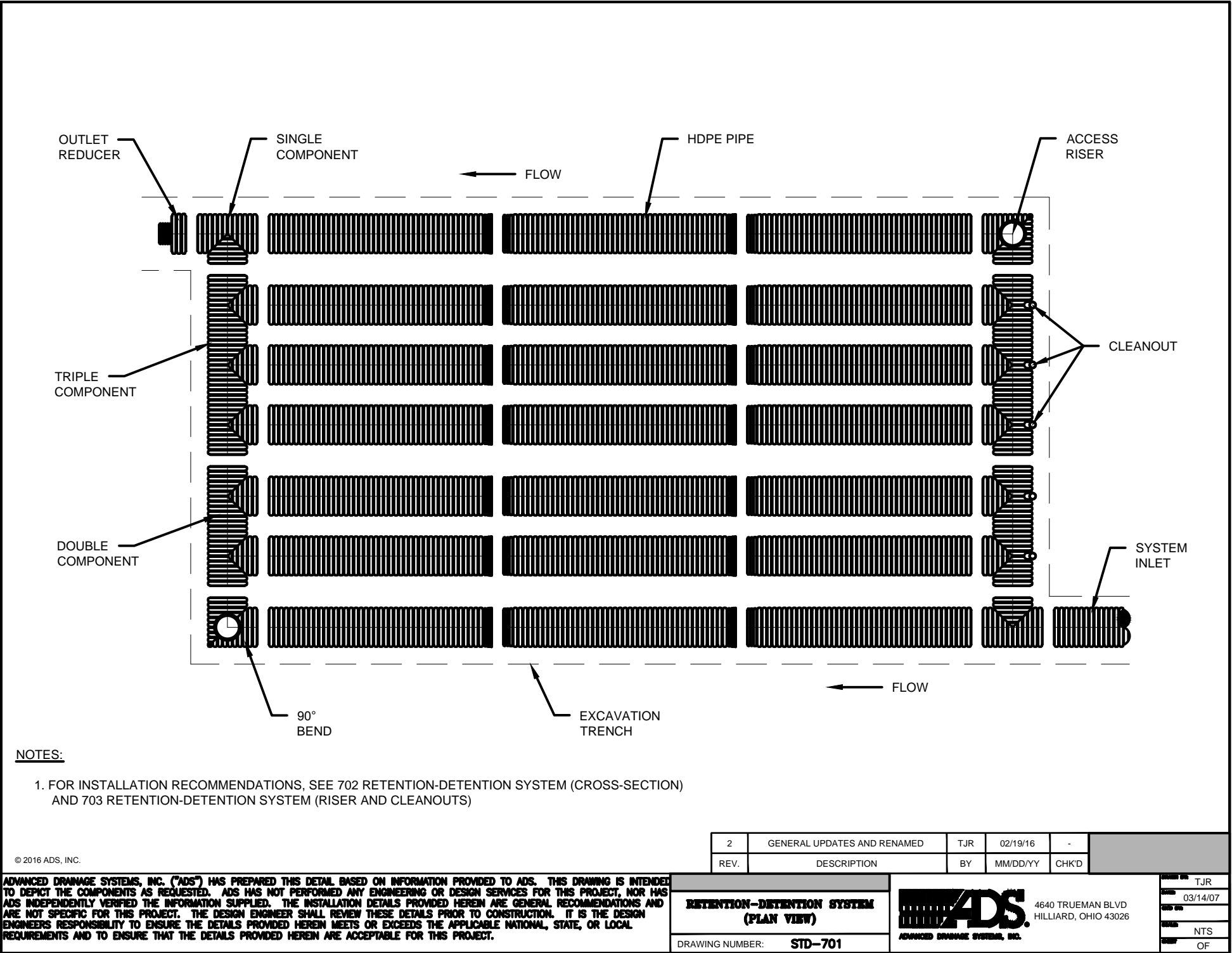
SCALE: As Shown
 DATE: May 18, 2023
 PREPARED FOR:
 Riverbank Properties
 908 Lawrence Street
 Lowell, MA 01852

DETAILS PLAN
 Comprehensive Permit Application
 135 GREENMONT AVENUE
 DRACUT, MASSACHUSETTS

JOB NO.: 2021-235
 SHEET: 8 of 10

DRAWING NO.

C-108



APPROVED DRACUT ZONING BOARD OF APPEALS

SIGNATURE DATE

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Town Clerk Date

Details

Not To Scale

DETAILS PLAN

Comprehensive Permit Application

135 GREENMONT AVENUE
DRACUT, MASSACHUSETTS

JOB NO.: 2021-235
SHEET: 9 of 10

DRAWING NO.

C-109

SCALE: As Shown

DATE: May 18, 2023

PREPARED FOR:

Riverbank Properties
908 Lawrence Street
Lowell, MA 01852

Comerstone Land Associates, LLC
Civil & Structural Engineering
Land Surveying & Land Development
25 Adams Avenue, Suite 100, Lowell, MA 01850-1078
www.comerstoneland.com

Design by KML
Survey by KML/JAJ
Draft by KML
Check by JAJ/JAJ

REVISION
RENS PER ZONING BOARD OF APPEALS MEETING AND ZHA PER REVIEW COMMENTS
RENS PER ZONING BOARD OF APPEALS MEETING AND ZHA PER REVIEW COMMENTS
RENS PER ZONING BOARD OF APPEALS MEETING AND ZHA PER REVIEW COMMENTS

DATE
11/29/23
04/10/24

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Town Clerk _____ Date _____



EXISTING

PROPOSED

WF-1

TEXT, Text

TEXT, Text

GRADE CONTOUR

BORDERING VEGETATIVE
WETLAND FLAGGING

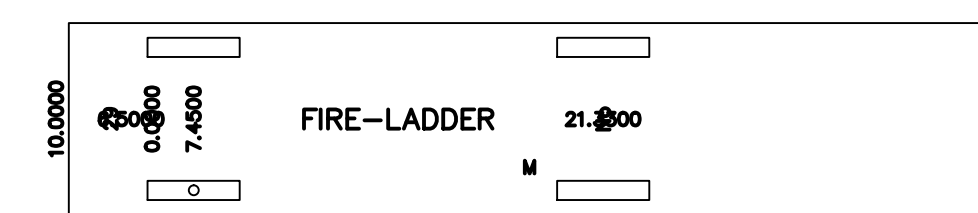
STONE WALL DRILL HOLE

CONCRETE BOUND MARKER

GENERAL TEXT

50 FT NO BUILD ZONE

100 FT BVW BUFFER ZONE



LADDER APPARATUS DIMENSIONS

Length=48'
Width=10'
Height=12'
Wheelbase =21'-4"
S.A.E Turn Radius=49'-9"
Wheelbase width=8'-2"
Ground Clearance=11"

EMERGENCY ACCESS PLAN
Comprehensive Permit Application
135 GREENMONT AVENUE
DRACUT, MASSACHUSETTS

JOB NO.: 2021-235
SHEET: 10 of 10

DRAWING NO.

C-110

Cornerstone Land Associates, LLC
 Civil & Structural Engineering
 Land Surveying • Land Development
 25 Dean Avenue • Dorset, MA 01826 • (978) 835-0102
info@cornerstonellc.com

SCALE: As Shown
DATE: May 18, 2023

Riverbank Properties
908 Lawrence Street
Lowell, MA 01852

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DATE	REVISION	BY	Design by
11/29/23	REVIS PER ZONING BOARD COMMENTS AND ZIA PEER REVIEW COMMENTS	KML	KML
04/10/24	REVIS PER ZONING BOARD OF APPEALS MEETING AND ZIA PEER REVIEW COMMENTS	KML	Survey by KML/TAJ
			Draft by KML
			Check by JAV/TAJ