

SITE PLAN

IN THE

TOWN OF DRACUT

MIDDLESEX COUNTY

COMMONWEALTH OF MASSACHUSETTS

APPROVED DRACUT ZONING BOARD OF APPEALS

SIGNATURE _____ DATE _____

For Registry Use Only

"I certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

Signature _____ Date _____

Notice of Appeals

I, _____, being the Town Clerk of the Town of Dracut, hereby certify that notice of this plan has been received and recorded at this office on _____, and no appeal of such has been received during the twenty days next.

Town Clerk _____ Date _____

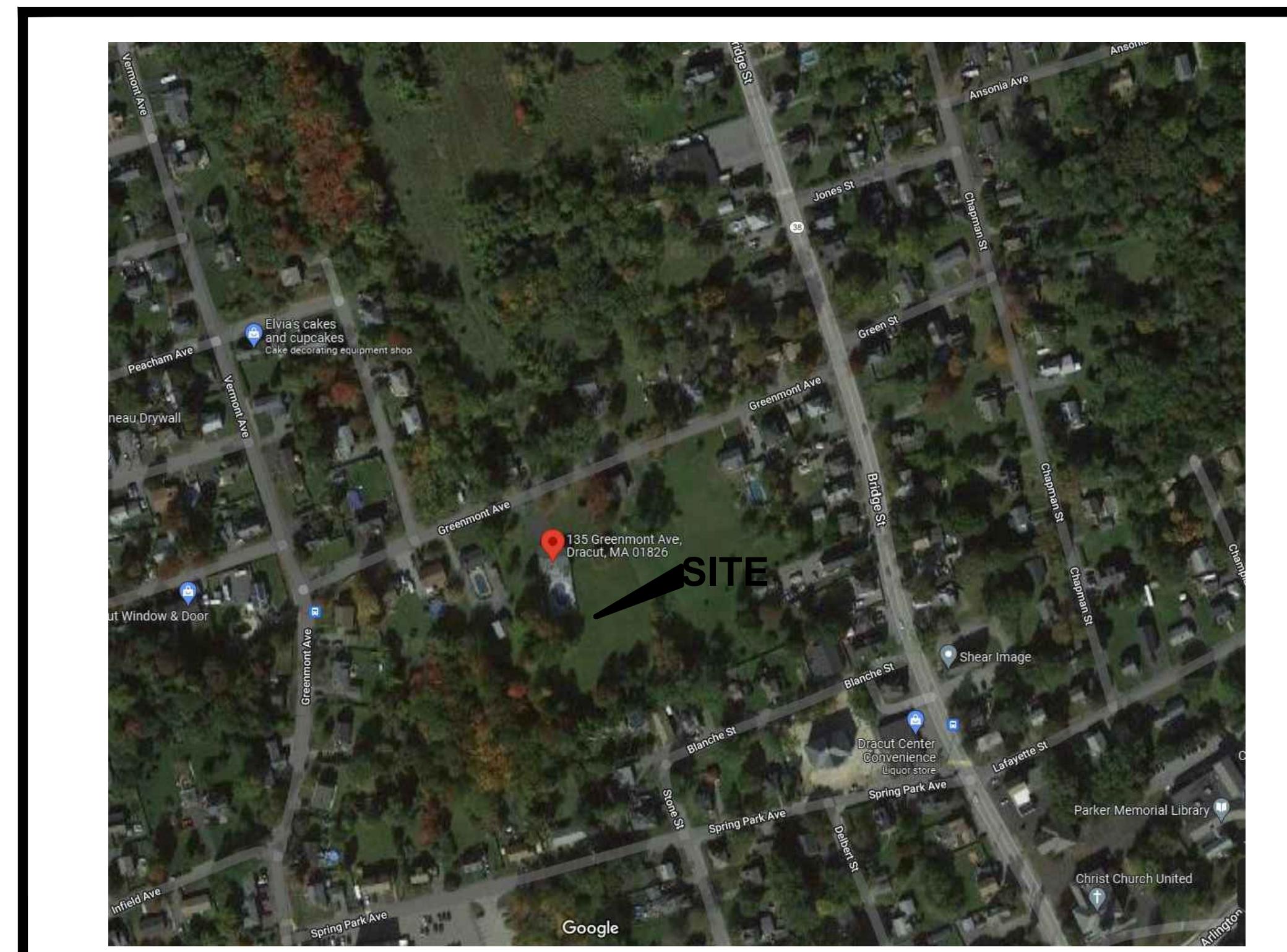


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Greenmont Commons
135 Greenmont Avenue
Dracut, MA

APPROVED DRACUT ZONING BOARD OF APPEALS

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REFERENCES

1. DEEDS: A. Deed Recorded in the Middlesex North District Registry of Deeds in Book 31043 Page 105.

2. PLANS: A. "Plan of Land in Dracut, Mass"; prepared by Dana F. Perkins & Sons, Inc., Civil Engineers & Surveyors; dated June 23, 1966; recorded in the Middlesex North District Registry of Deeds in Book of Plans 104 Page 25.

3. DOCUMENTS: A. Comprehensive Permit Application Submittal for Branco Pergo; by Cornerstone Land Consultants, Inc.; dated April 2022.

NOTES

1. PURPOSE: This plan is to meet the filing requirements of the Dracut Zoning Board of Appeals to obtain a Comprehensive Permit Application Approval. These Plans shall not be utilized for construction. Construction documents will be issued once the Comprehensive Permit is approved and the documents are requested in writing by the Applicant.

2. PROPERTY LINES: Existing property lines shown are from Reference 1A and 2A.

3. OWNER & APPLICANT: The subject property is owned by Jose Luiz "Branco" Pergo; 135 Greenmont Avenue, Dracut, MA as shown by current assessor's records. The applicant is Riverbank Properties.

4. ZONING: All lots are within the R-1 (Residential) Zoning District.

5. TOPOGRAPHY: Site details shown are the result of an instrument survey performed in February through April 2022. Vertical datum shown is the North American Vertical Datum of 1988 (NAVD88).

6. FLOODPLAIN: The property is located in a Zone X area and is not located within a 100 Year floodplain area according to the most recent FEMA maps; Map #25017C0141E dated June 4, 2010.

7. ACEC: The property is not located within an Area of Critical Environmental Concern.

8. NHESP: There are no estimated habitats of rare wildlife or certified vernal pools on the property.

9. RESOURCE AREA: Existing resource area flags were identified in the field by this office and the flagging was located by instrument survey as described by Note 5. Permanent sign markers to be installed at BVW Wetflags A1-A6.

10. LIMIT OF WORK: The location of the erosion control within the wetland buffer area will be the limit of work line as shown. Erosion Control to be installed 1 ft off the western and southern property lines.

11. SOILS: Soils on the site have been classified in accordance with the USDA Middlesex County Soil Report Version 12, dated February 26, 2010, as 310A - Woodbridge fine sandy loam, 0-3% slopes and 71B - Ridgebury fine sandy loam, 3-8% slopes. See Reference 3A for additional USDA soil information.

12. UTILITIES: Known existing underground utilities are shown on the Site Plan. A determination as to the existence of any other underground utilities has not been made and the absence of same is not implied or intended. The contractor shall contact the proper authorities to verify the location of all existing underground utilities and structures prior to construction.

13. ORDER OF CONDITIONS: Construction on this site is subject to an Order of Conditions to be issued by the Dracut Conservation Commission and Massachusetts Department of Environmental Protection.

14. CERTIFICATION: Certification is made regarding the stated purpose of this plan only, as given in Note 1. This plan shall not be used for the layout of lot lines or structures and shall not be used for any other purpose without the written consent of Cornerstone Land Associates, LLC.

DATE: 10/5/23 REVISER: ZONING BOARD OF APPEALS MEETING BY: KML
10/5/23 REVISER: ZONING BOARD OF APPEALS MEETING BY: KML
04/10/24 REVISER: ZONING BOARD OF APPEALS MEETING BY: KML
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Design by KML
Survey by KML/JTA
Draft by KML
Check by JAV/TAJ

Certification not valid without original stamp and/or signature

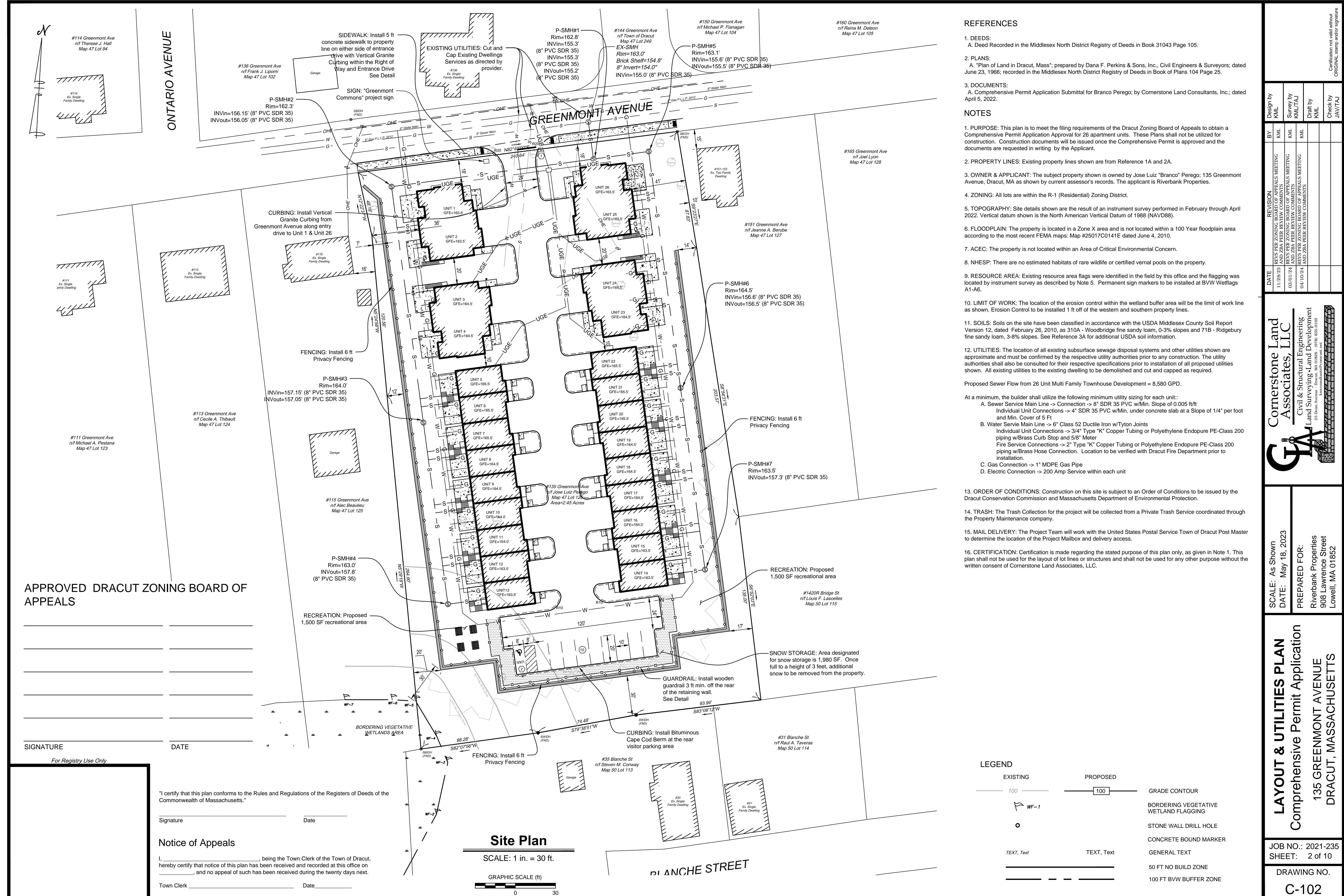
Cornerstone Land Associates, LLC

Civil & Structural Engineering
Land Surveying, Land Development
23 Dean Avenue, Dracut, MA 01826 (978) 983-0102

EXISTING CONDITIONS PLAN
Comprehensive Permit Application
135 GREENMONT AVENUE
DRACUT, MASSACHUSETTS

SCALE: As Shown
DATE: May 18, 2023
PREPARED FOR:
Riverbank Properties
908 Lawrence Street
Lowell, MA 01852

JOB NO.: 2021-235
SHEET: 1 of 10
DRAWING NO.
C-101



DRAINAGE CHART

PCB#1
RIM=162.25
INVout=159.00

PCB#2
RIM=162.50
INVout=159.00

SWQU#1
RIM=162.85
INVin=158.90 (12" ADS PCB#1)
INVin=158.90 (12" ADS PCB#2)
INVout=158.80 (12" ADS UDB)

PCB#3
RIM=162.00
INVout=158.50

PCB#4
RIM=162.00
INVout=158.50

SWQU#2
RIM=163.00
INVin=158.15 (12" ADS PCB#1)
INVin=158.15 (12" ADS PCB#2)
INVout=158.05 (12" ADS UDB)

ADS PIPE RETENTION SYSTEM
INVin=158.00 (12" SWQU#1)
INVin=157.75 (12" SWQU#2)
INVout=157.75 (12" OCS#1)
INVout=157.00 (4" OCS#1)

OCS#1
RIM=163.20
INVin=157.00 (12" ADS PIPE)
INVin=156.90 (4" ADS PIPE)
INVout=156.75 (12" PDMH#5)

SUBSURFACE TESTING DEEP OBSERVATION HOLE LOGS

HOLE NO:		TP-1	TP-2	TP-3	TP-4	TP-5	TP-6	TP-7
HORIZON TEXTURE COLOR								
A. SL 10YR3/2	161.93	161.5	160.01	159.51	160.94	160.25	160.57	160.89
B. SL 10YR5/6	159.16	160.41	158.51	157.34	159.08	159.08	159.48	159.48
C. VF SAND 2.5Y5/4	158.00	154.47	155.13	154.47	157.77	157.77	158.40	158.40
DEPTH (in)	0	12	24	36	48	60	72	84
DATE: S.E.: INSP:	09/16/22 K. Lania/J. Visniewski - CLA M. Hamel - Dracut	09/15/22 K. Lania/J. Visniewski - CLA M. Hamel - Dracut	09/15/22 K. Lania/J. Visniewski - CLA M. Hamel - Dracut	09/15/22 K. Lania/J. Visniewski - CLA M. Hamel - Dracut	09/15/22 K. Lania/J. Visniewski - CLA M. Hamel - Dracut	02/27/24 K. Lania - CLA K. Clark - GCG	02/27/24 K. Lania - CLA K. Clark - GCG	02/27/24 K. Lania - CLA K. Clark - GCG

DEEP HOLE LEGEND

- ESTIMATED SEASONAL HIGH GROUNDWATER
- OBSERVED HIGH GROUNDWATER (None)
- UNSUABLE SOILS/MATERIALS
- ACCEPTABLE SOILS
- REFUSAL (None)

For Registry Use Only

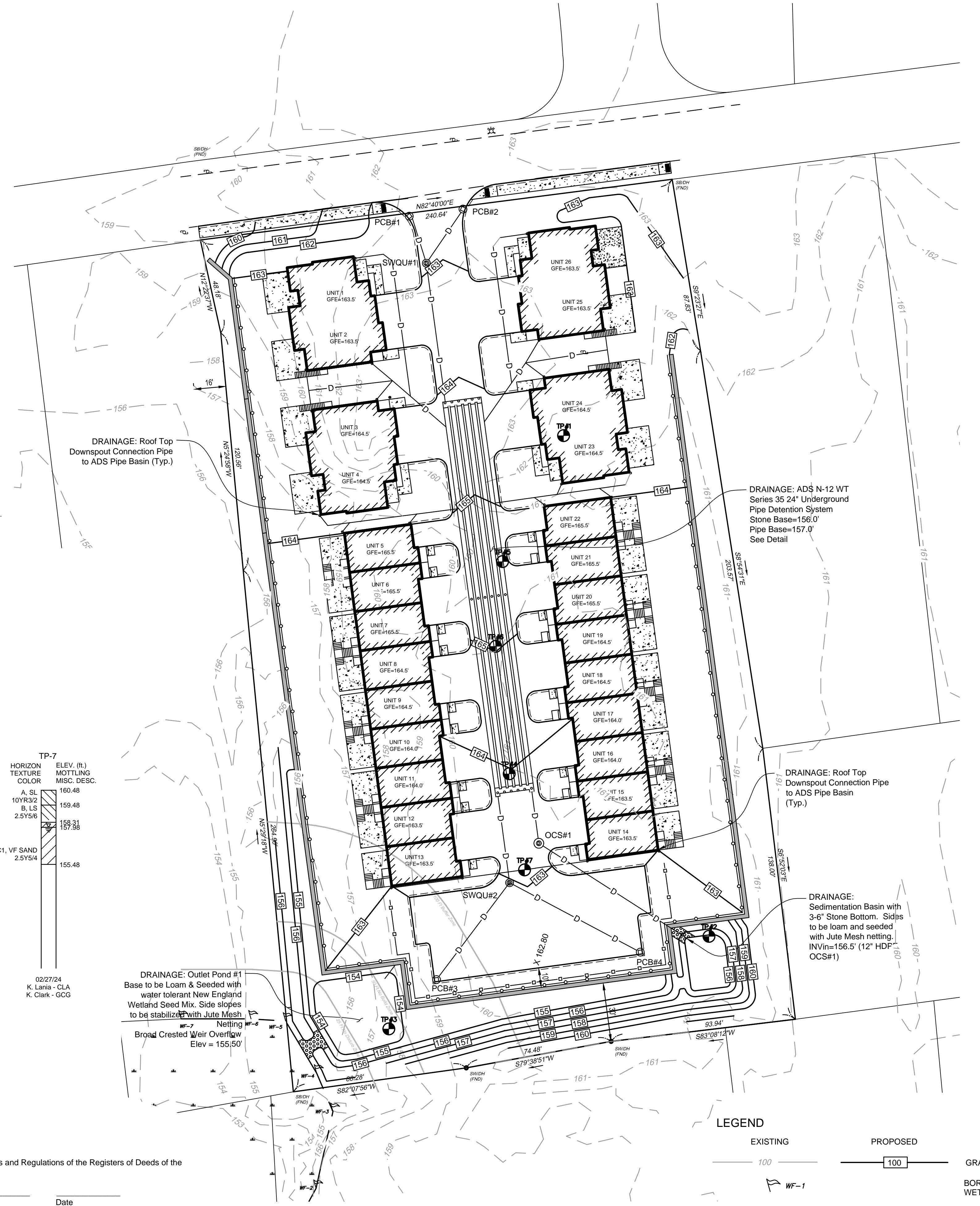
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Site Plan

SCALE: 1 in. = 30 ft.

GRAPHIC SCALE (ft)

0 30

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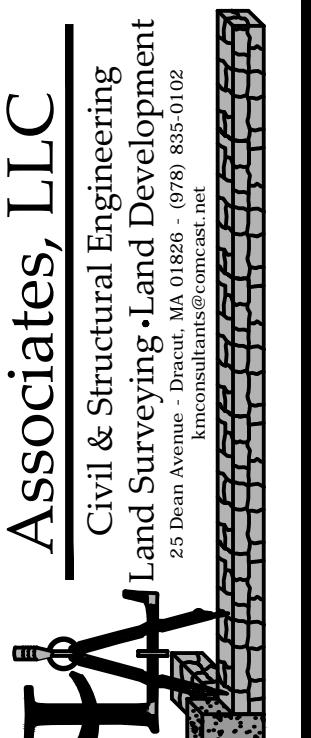
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Certification not valid without original stamp and/or signature



Land Surveying, Land Development

23 Dean Avenue, Dracut, MA 01826 (978) 353-0102

GRADING & DRAINAGE PLAN
Comprehensive Permit Application
135 GREENMONT AVENUE
DRACUT, MASSACHUSETTS

JOB NO.: 2021-235

SHEET: 3 of 10

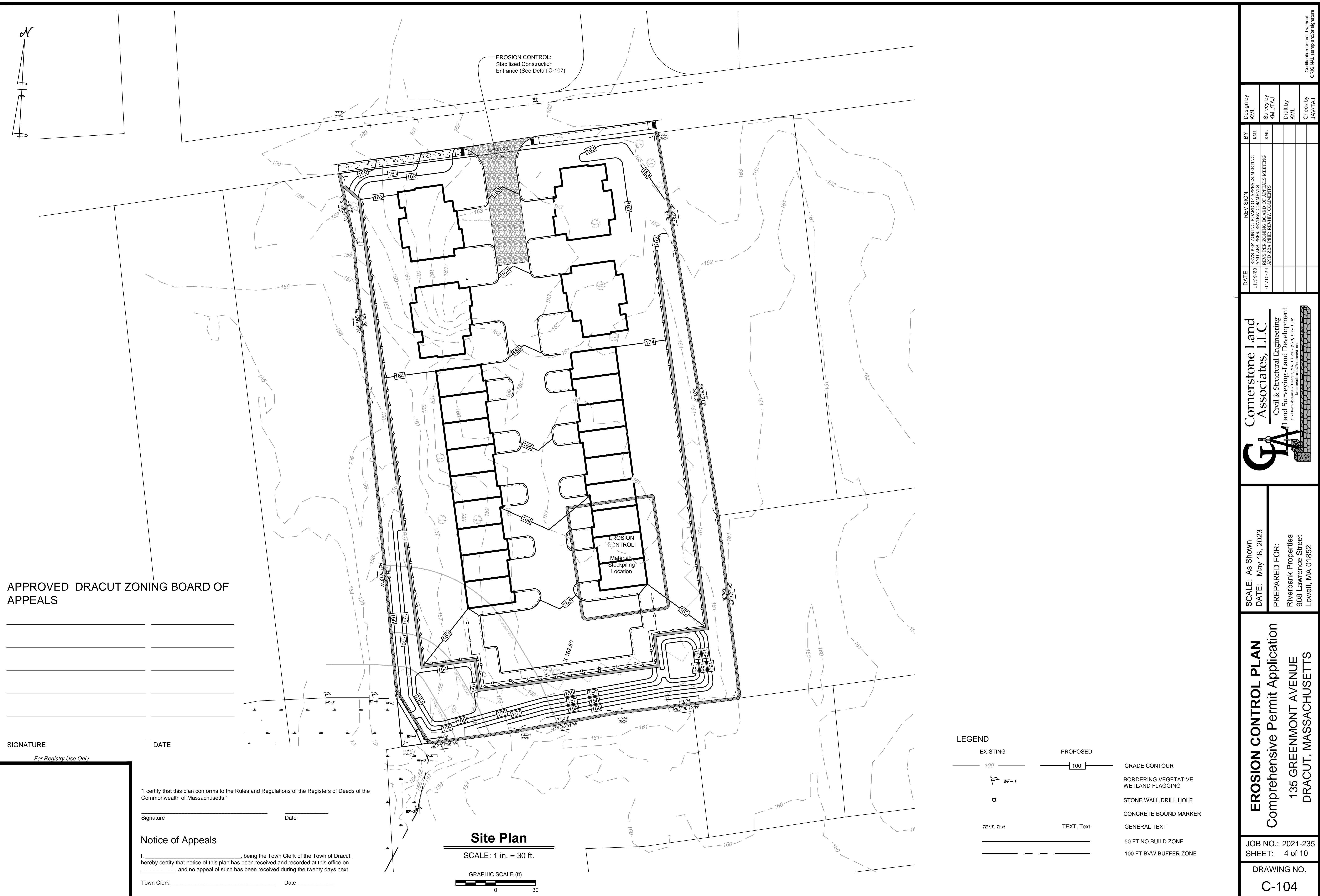
DRAWING NO.

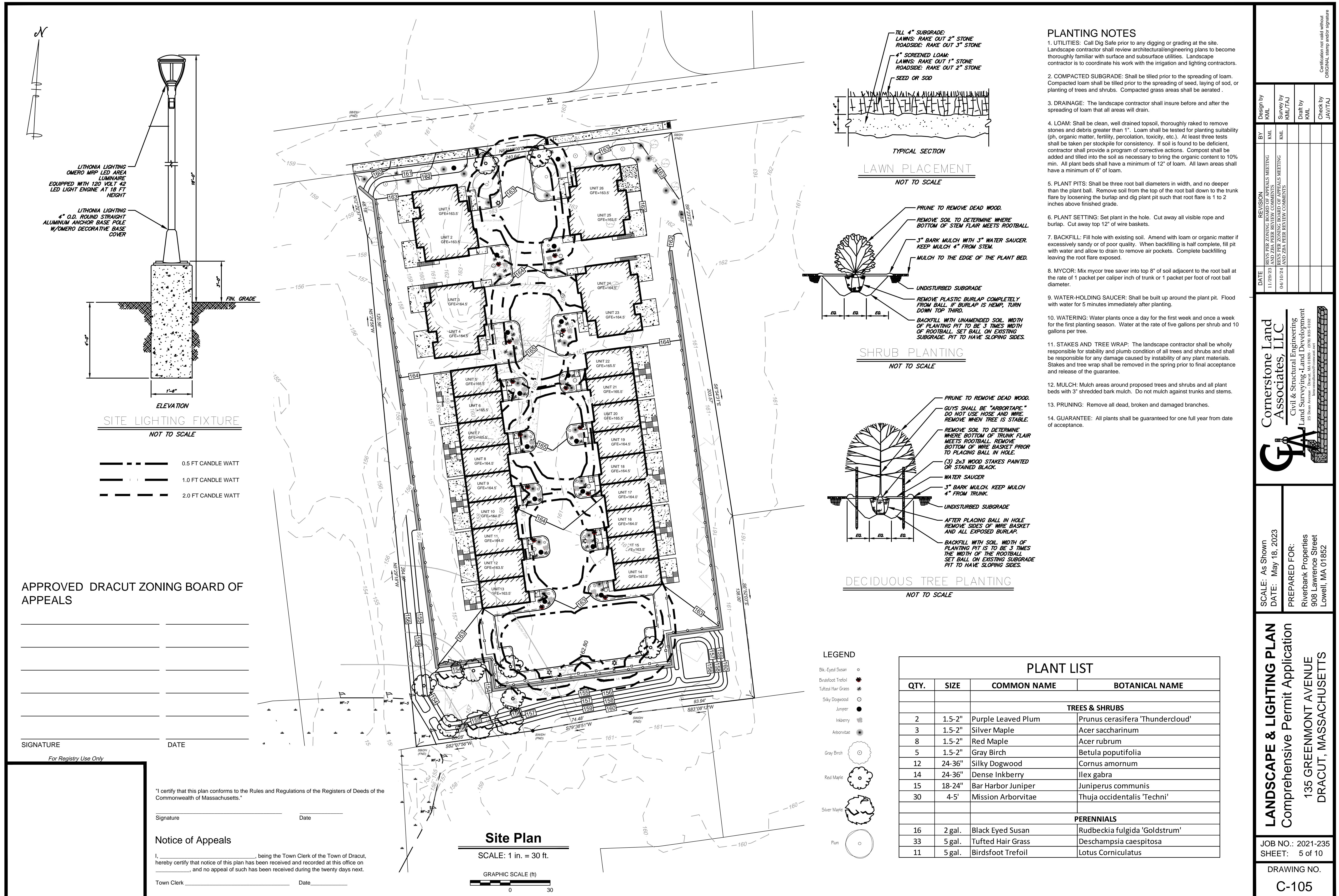
C-103

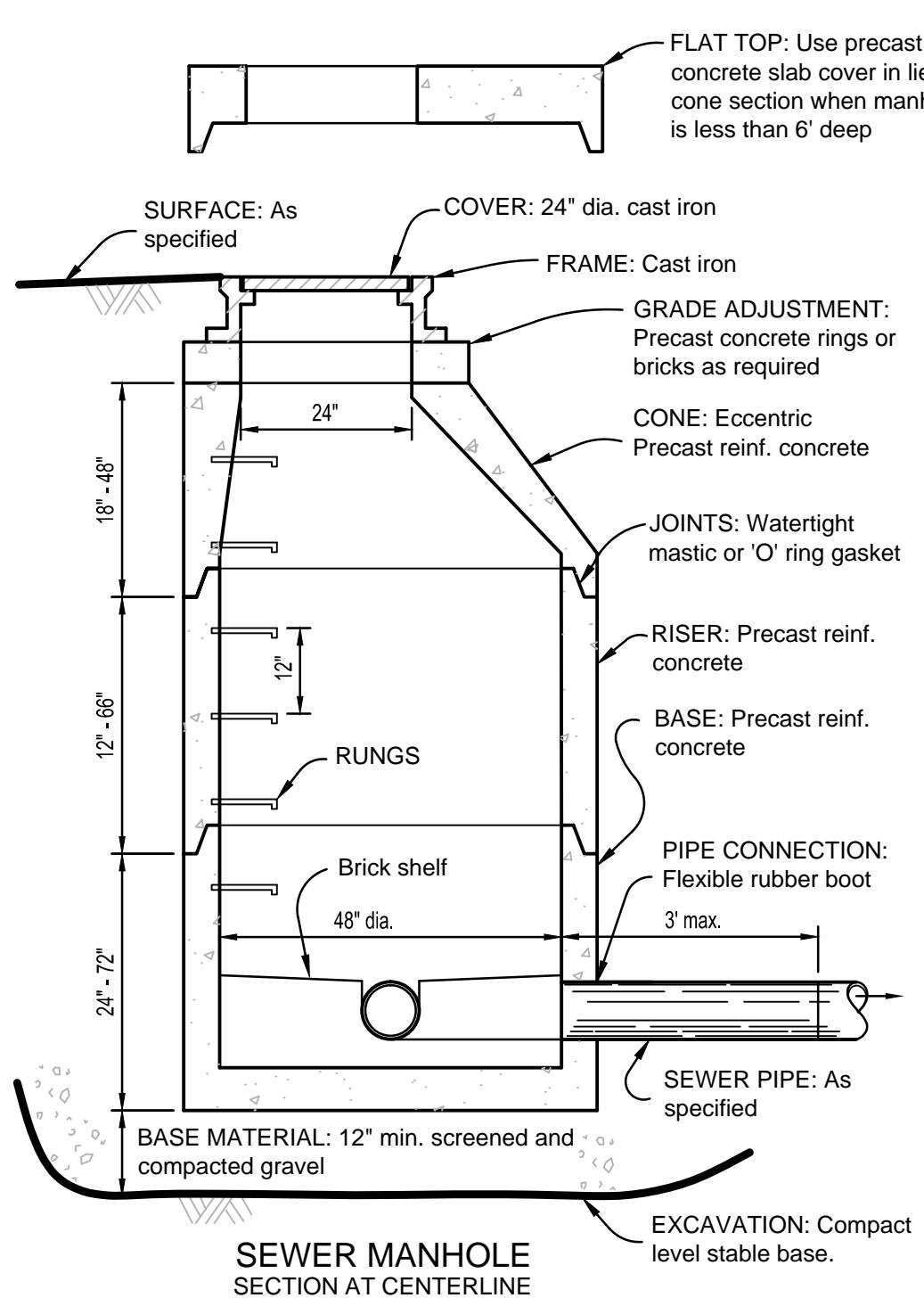
Locus Map

Not To Scale

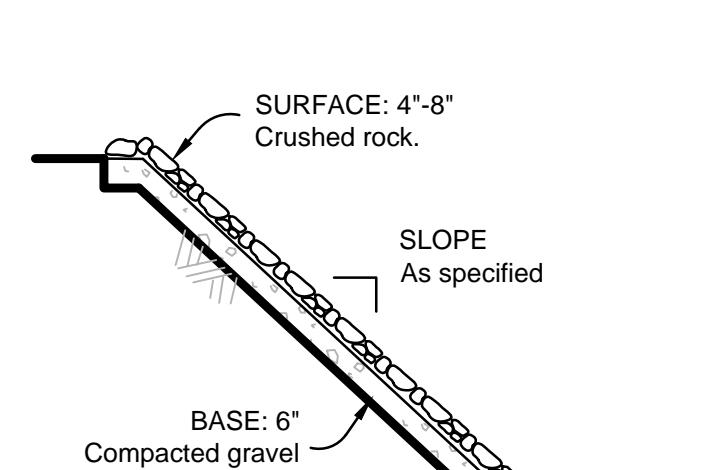
APPROVED DRACUT ZONING BOARD OF APPEALS







NOTES
 1. All components and construction shall provide H-20 design loading per AASHTO HS-20-44 & ASTM C478.
 2. All components and construction shall comply with requirements of the Pepperell Sewer Dept.



SLOPE PROTECTION

APPROVED DRACUT ZONING BOARD OF APPEALS

SIGNATURE _____ DATE _____

For Registry Use Only

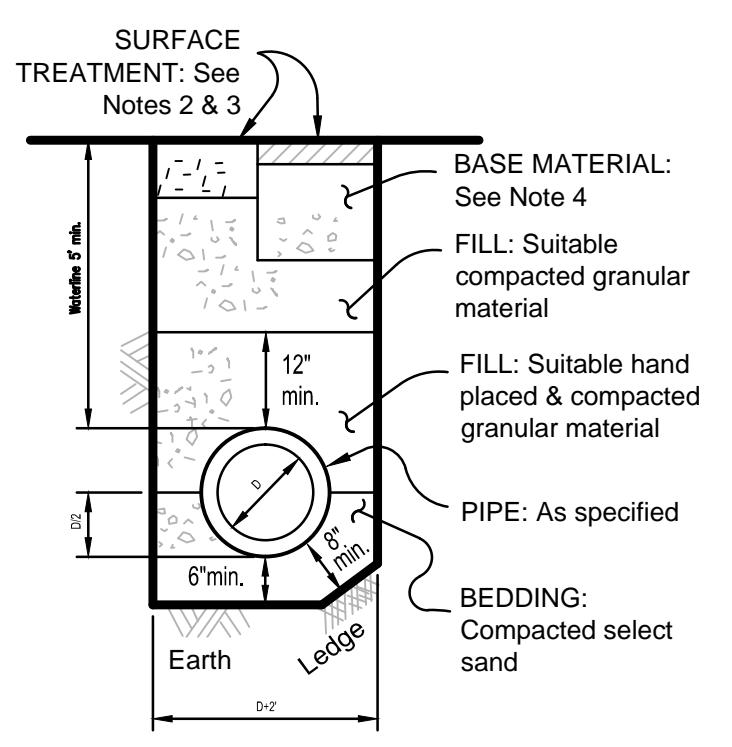
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Notice of Appeals

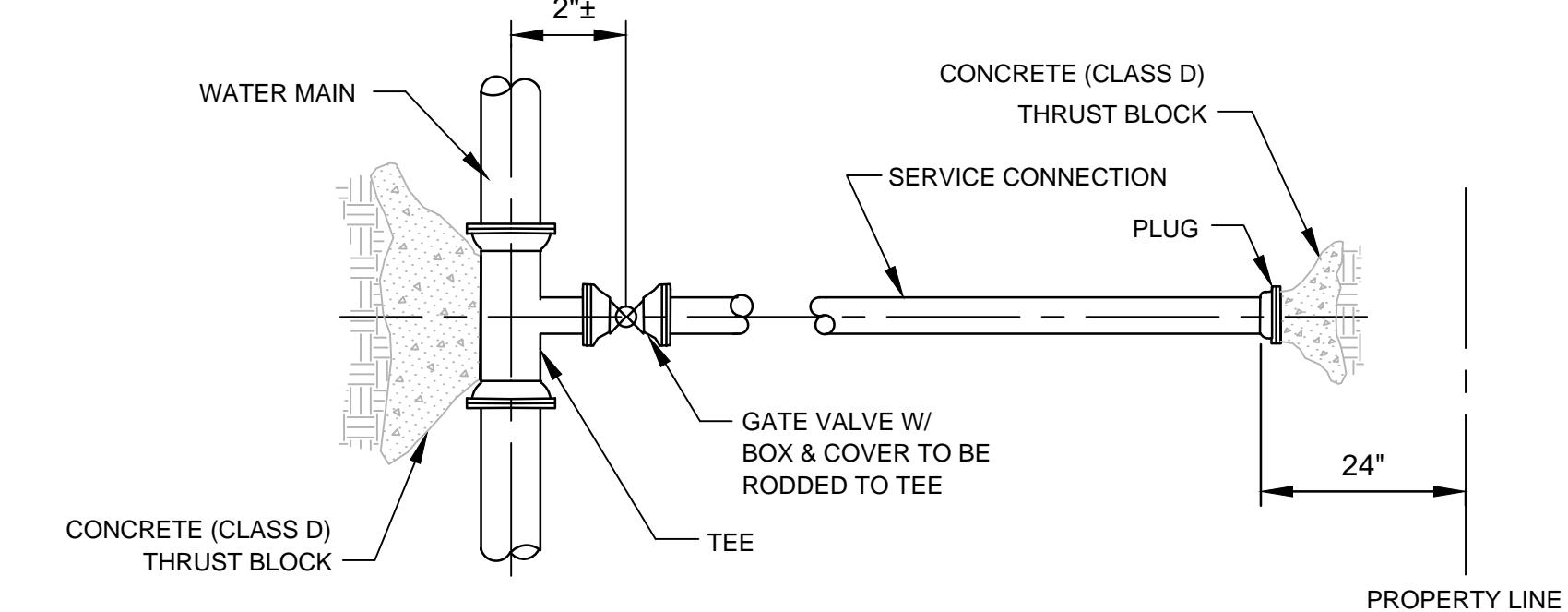
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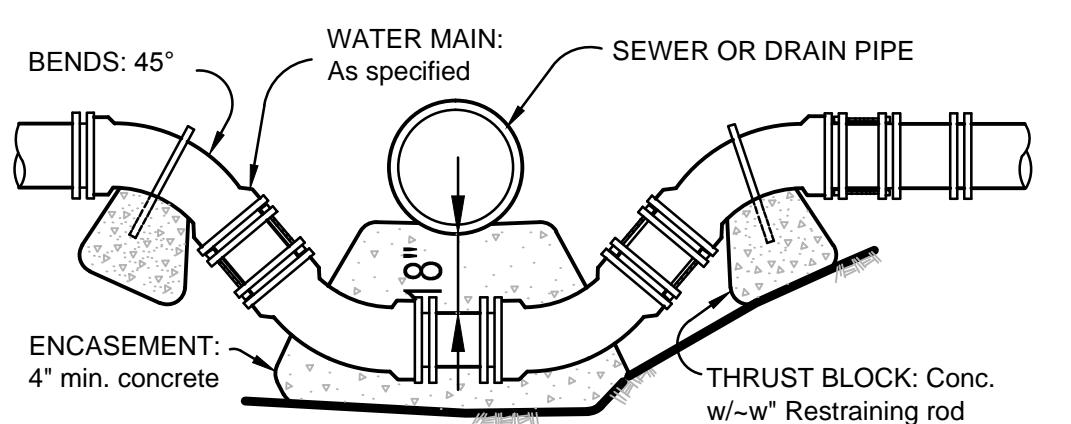


WATER PIPE TRENCH

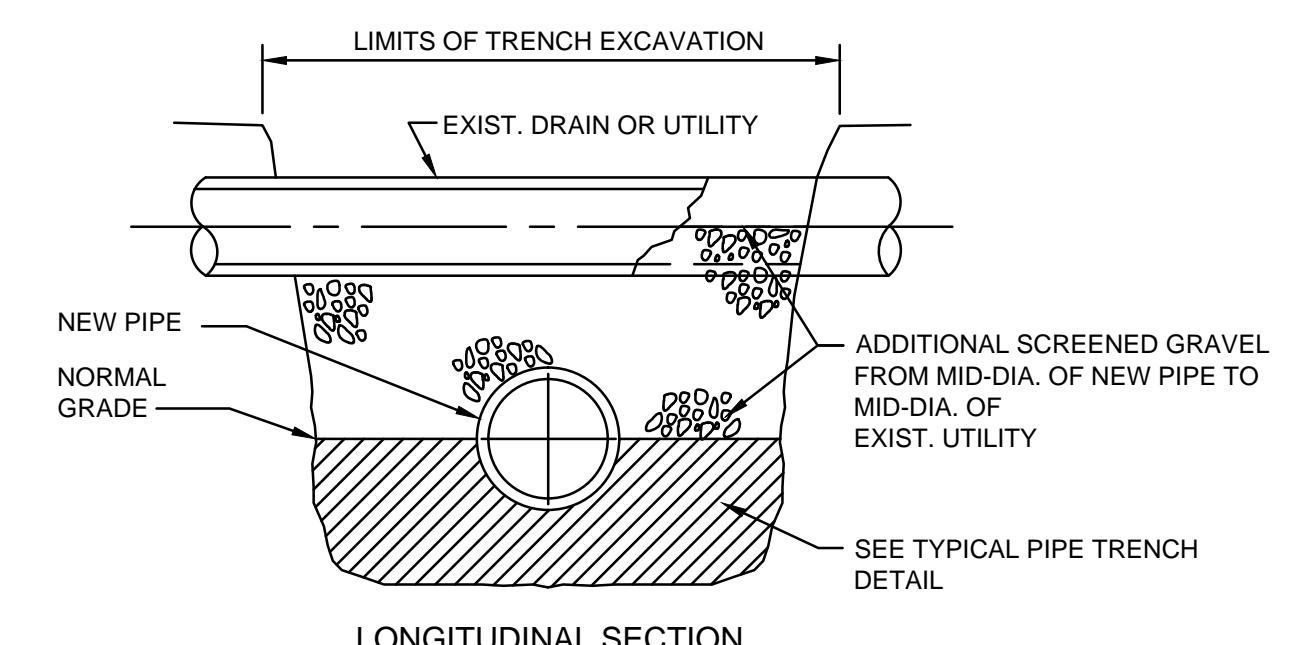
WATER PIPE TRENCH NOTES
 1. Materials and construction shall comply with the Pepperell Water Dept. specifications.
 2. Surface landscaping shall be 4" loam & sand.
 3. Surface finish shall be 1/2" loam/1/2" concrete finish course over 1/2" loam/1/2" concrete binder course.
 4. Driveway base material shall be clean compacted gravel with no aggregate size over 3".



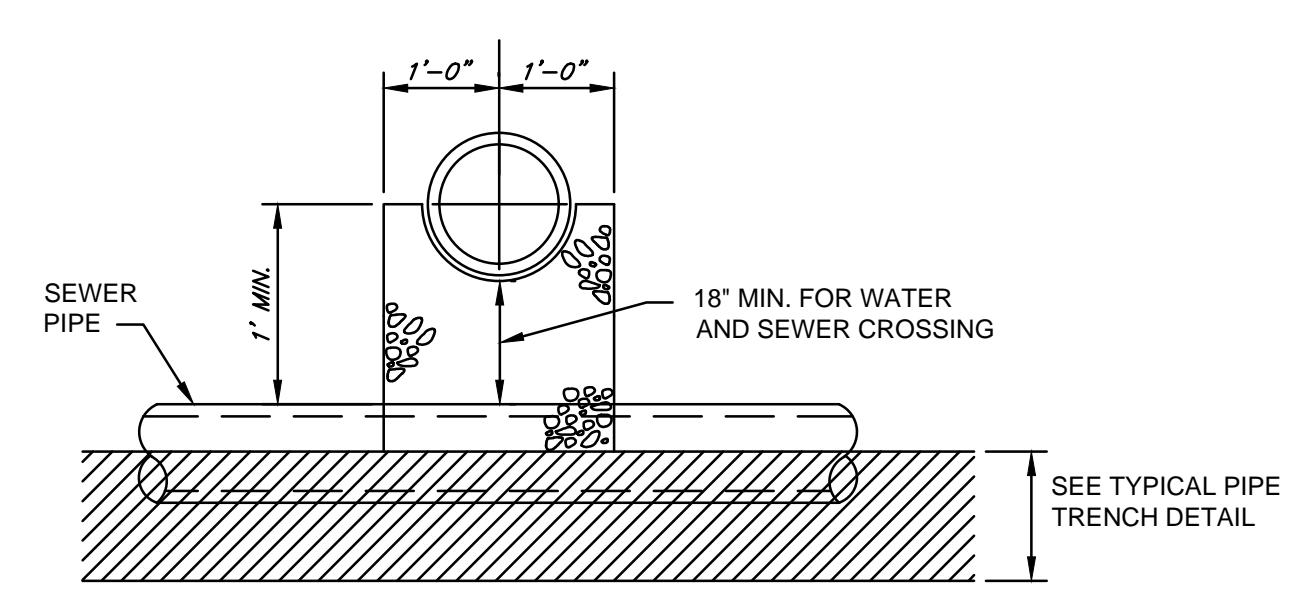
SERVICE CONNECTION 4" AND OVER



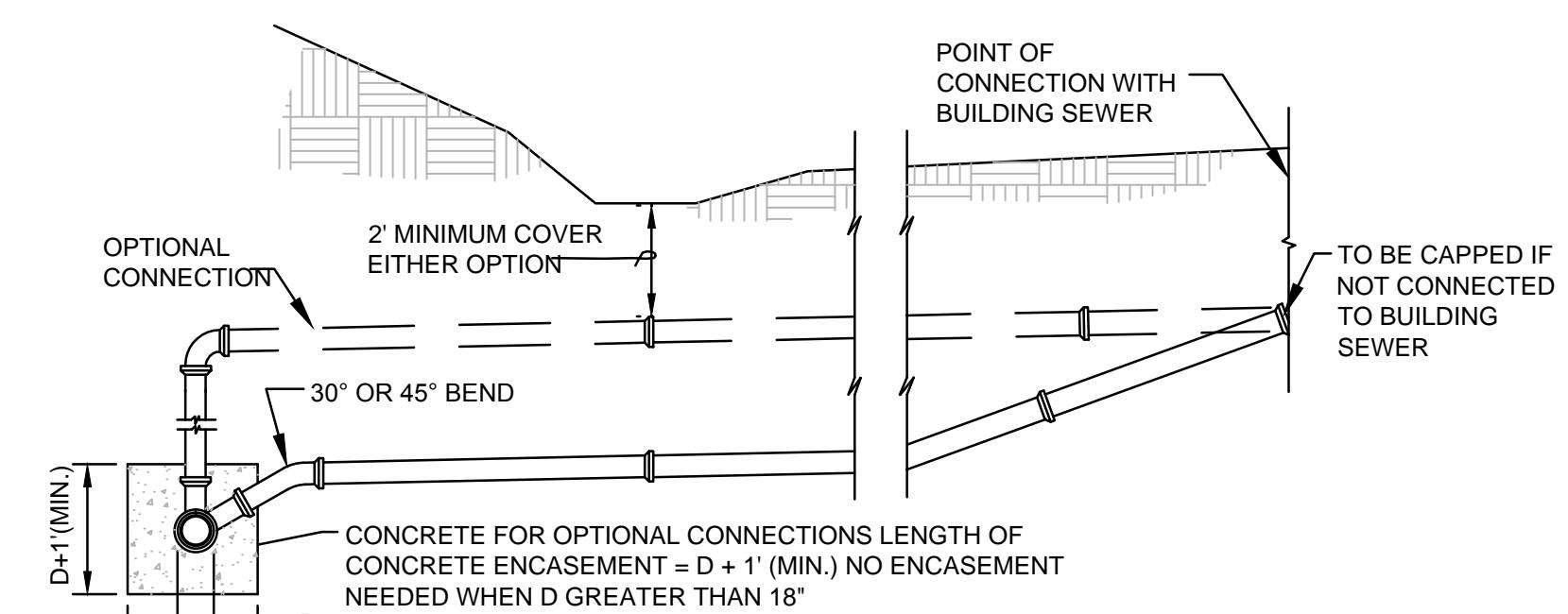
WATERMAIN LOWERING



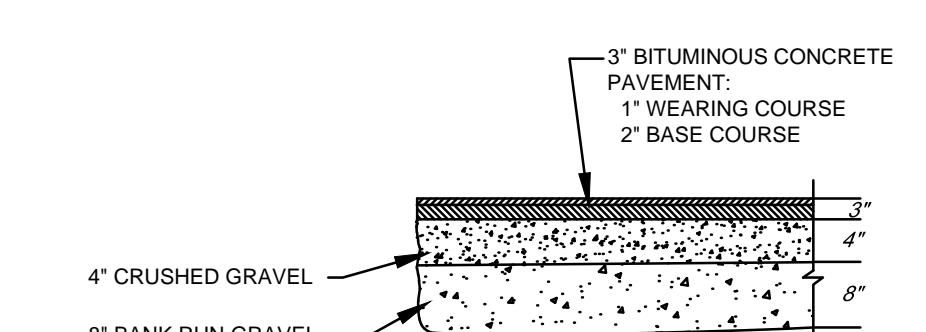
LONGITUDINAL SECTION



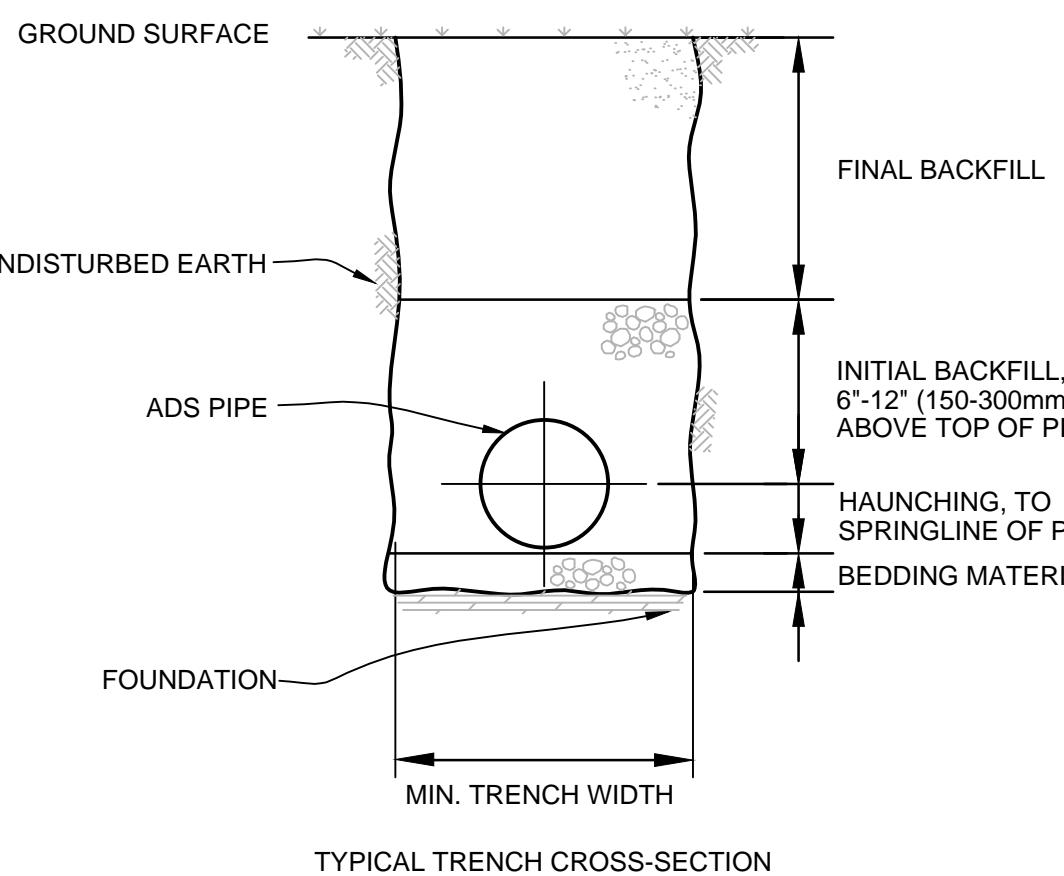
TYPICAL PIPE CROSSING



STANDARD SANITARY/INDUSTRIAL WASTE SEWER BUILDING CONNECTIONS



DRIVeway PAVEMENT



NOTES:

1. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE AND STABILIZE THE TRENCH BOTTOM BY TROWELING AND REPLACE WITH A LAYDOWN OF CLASS I OR II MATERIAL AS DEFINED IN ASTM D2321. STANDARD PRACTICE FOR INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS, LATEST EDITION; AS AN ALTERNATIVE AND AT THE DISCRETION OF THE ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A WOVEN GEOTEXTILE FABRIC.

2. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.

UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100-600mm) AND 42"-48" (1050-1200mm) CORRUGATED POLYETHYLENE PIPE (CPEP); 6" (150mm) FOR 30"-36" (750-900mm) CPEP.

3. HAUNCHING AND INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.

4. UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM TRENCH WIDTHS SHALL BE AS FOLLOWS:

NOMINAL Ø in (mm)	MIN. RECOMMENDED TRENCH WIDTH, in (mm)
4 (100)	21 (530)
6 (150)	23 (580)
8 (200)	25 (630)
10 (250)	28 (710)
12 (300)	31 (790)
15 (375)	34 (860)
18 (450)	39 (990)
24 (600)	48 (1220)
30 (750)	65 (1680)
36 (900)	78 (1990)
42 (1050)	82 (2110)
48 (1200)	89 (2260)
60 (1500)	102 (2590)

5. MINIMUM COVER: MINIMUM RECOMMENDED DEPTHS OF COVER FOR VARIOUS LIVE LOADING CONDITIONS ARE SUMMARIZED IN THE FOLLOWING TABLE. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TAKEN FROM THE TOP OF PIPE TO THE GROUND SURFACE.

SURFACE LIVE LOADING CONDITION	MINIMUM RECOMMENDED COVER, in (mm)
H25 (FLEXIBLE PAVEMENT)	12 (300)
H25 (RIGID PAVEMENT)	12 (300)
E80 RAILWAY	24 (610)
HEAVY CONSTRUCTION	48 (1220)

*TOP OF PIPE TO BOTTOM OF BITUMINOUS PAVEMENT SECTION

TRENCH INSTALLATION

DETAILS PLAN
Comprehensive Permit Application
135 GREENMONT AVENUE
DRACUT, MASSACHUSETTS

JOB NO.: 2021-235
SHEET: 6 of 10

DRAWING NO.

C-106

Certification not valid without
original stamp and/or signature

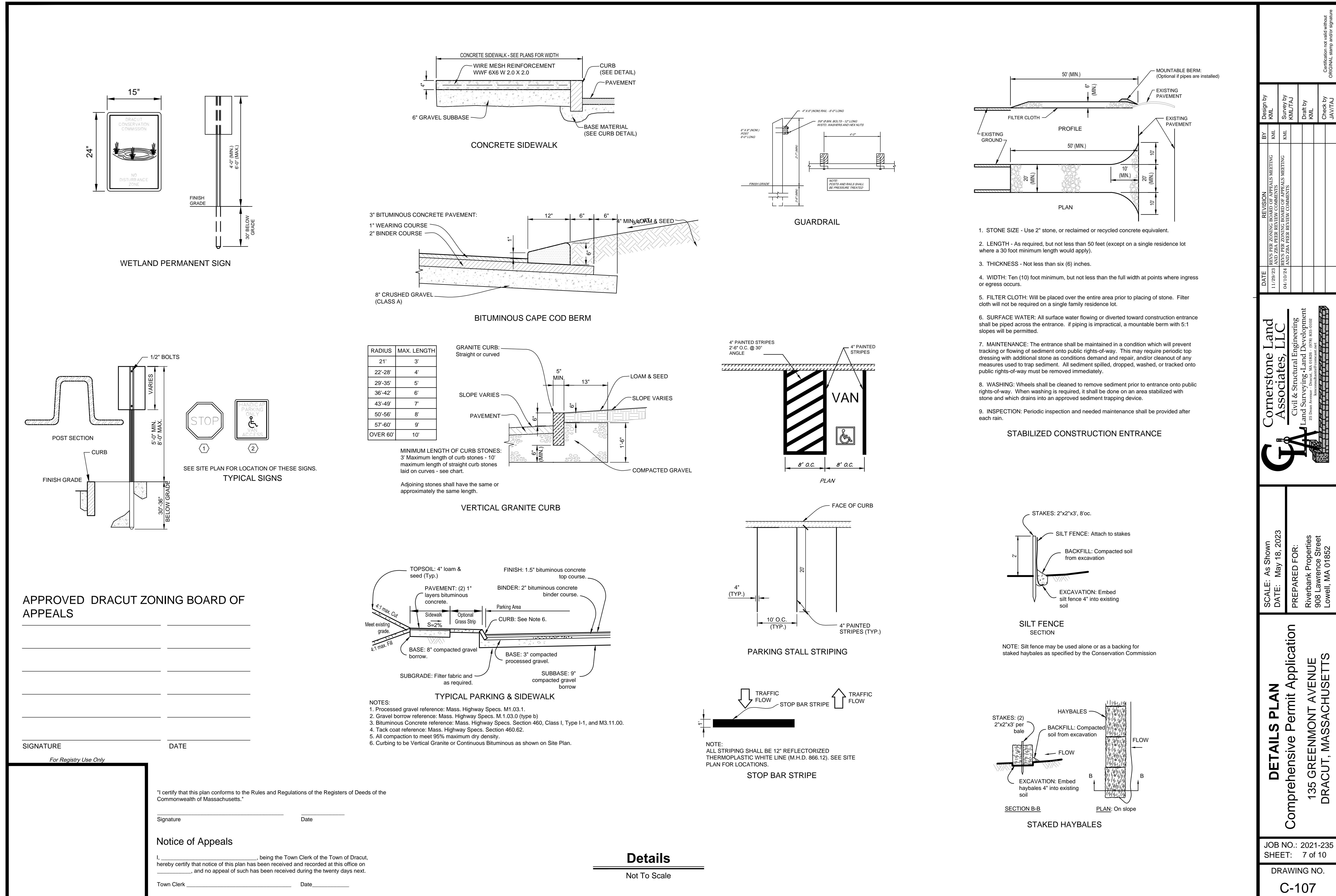
REVISION 1-29/23 REVS PER ZONING BOARD OF APPEALS MEETING AND ZBA PEEPER REVIEW COMMENTS	Design by KML
04/10/24 REVS PER ZONING BOARD OF APPEALS MEETING AND ZBA PEEPER REVIEW COMMENTS	Survey by KML/TAJ
	Draw by KML
	Check by JAV/TAJ

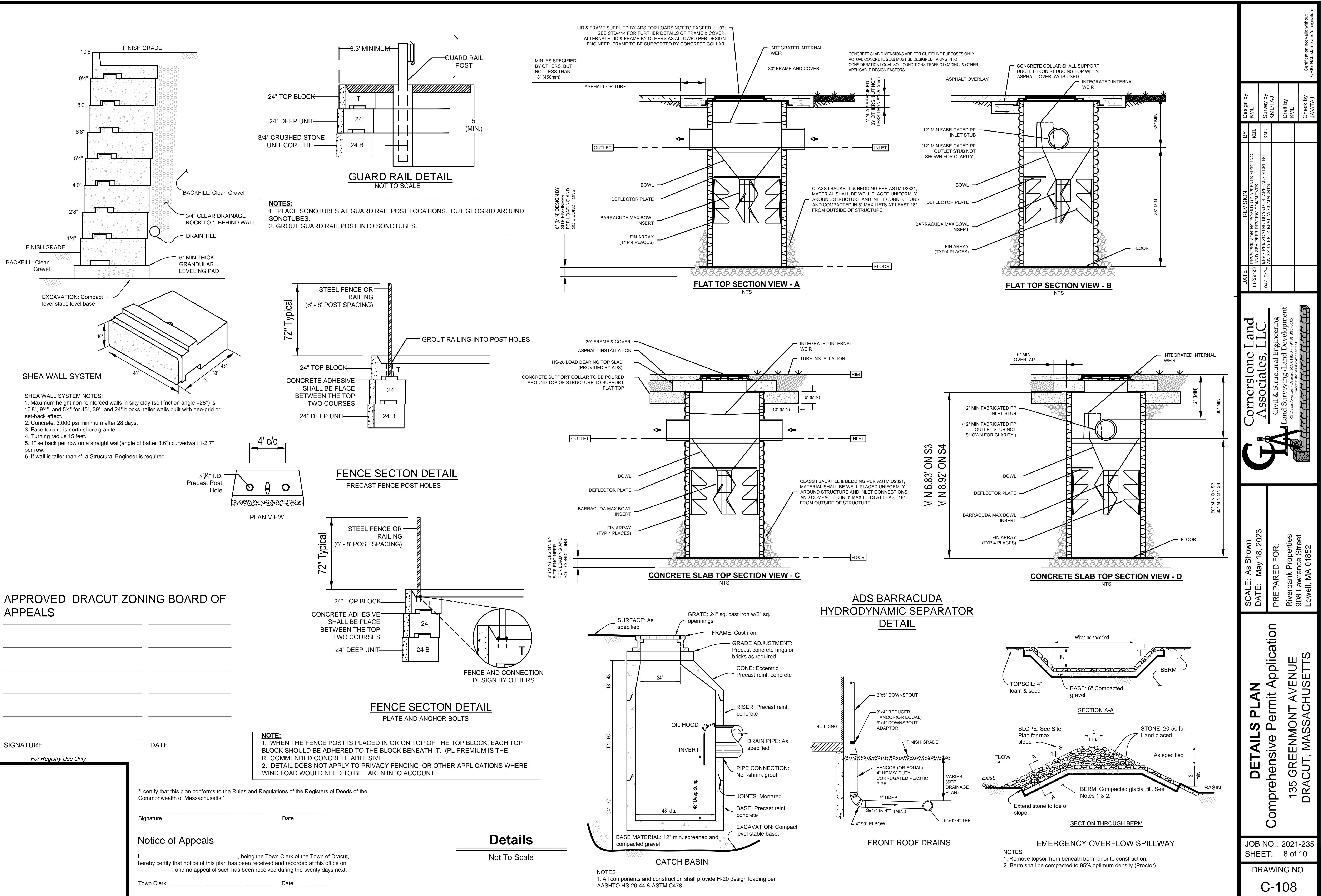
Cornerstone Land
Associates, LLC
Civil & Structural Engineering
23 Dean Avenue, Lowell, MA 01832 (978) 835-0102
Land Surveying, Land Development
LandSurveyors@cornerstone.net

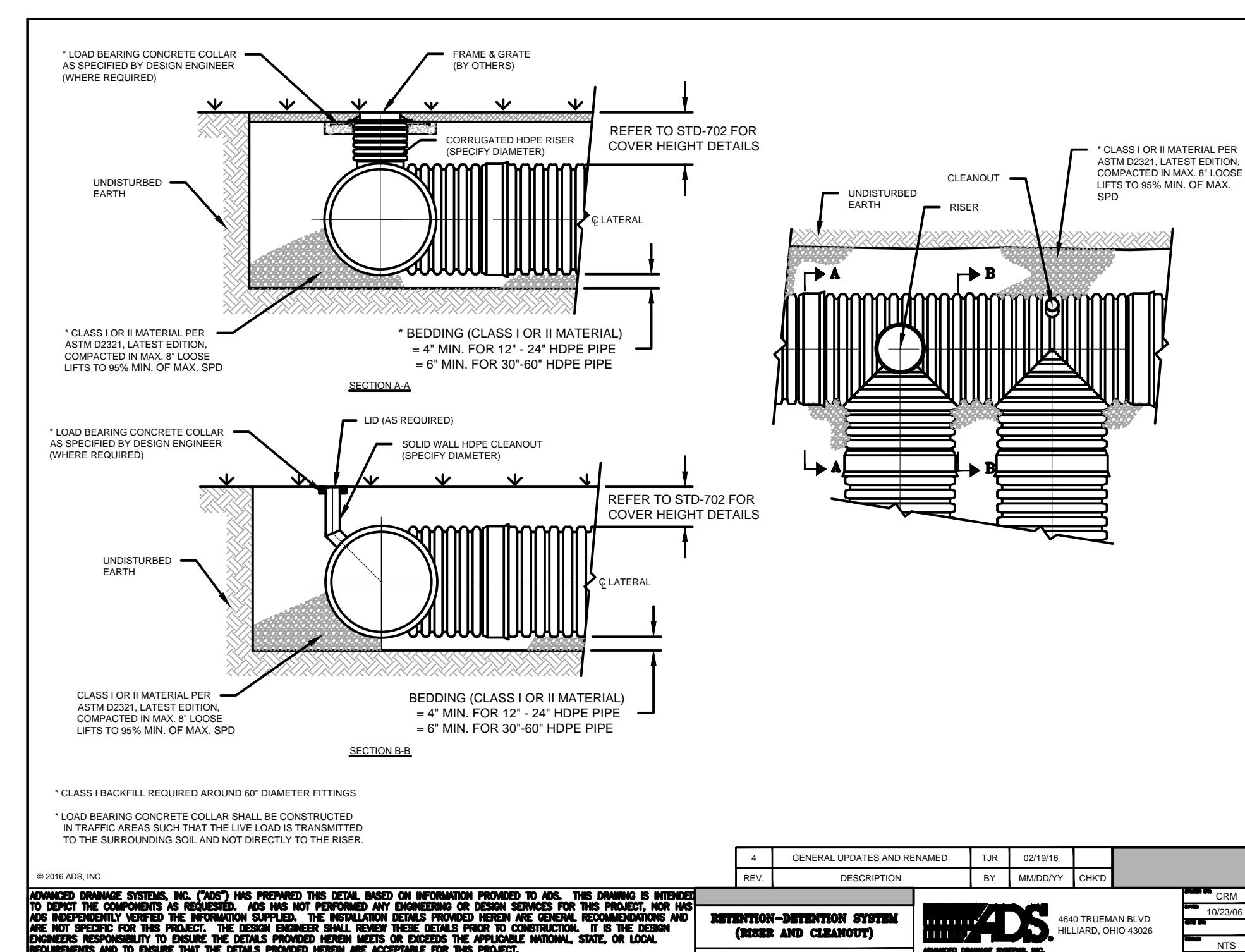
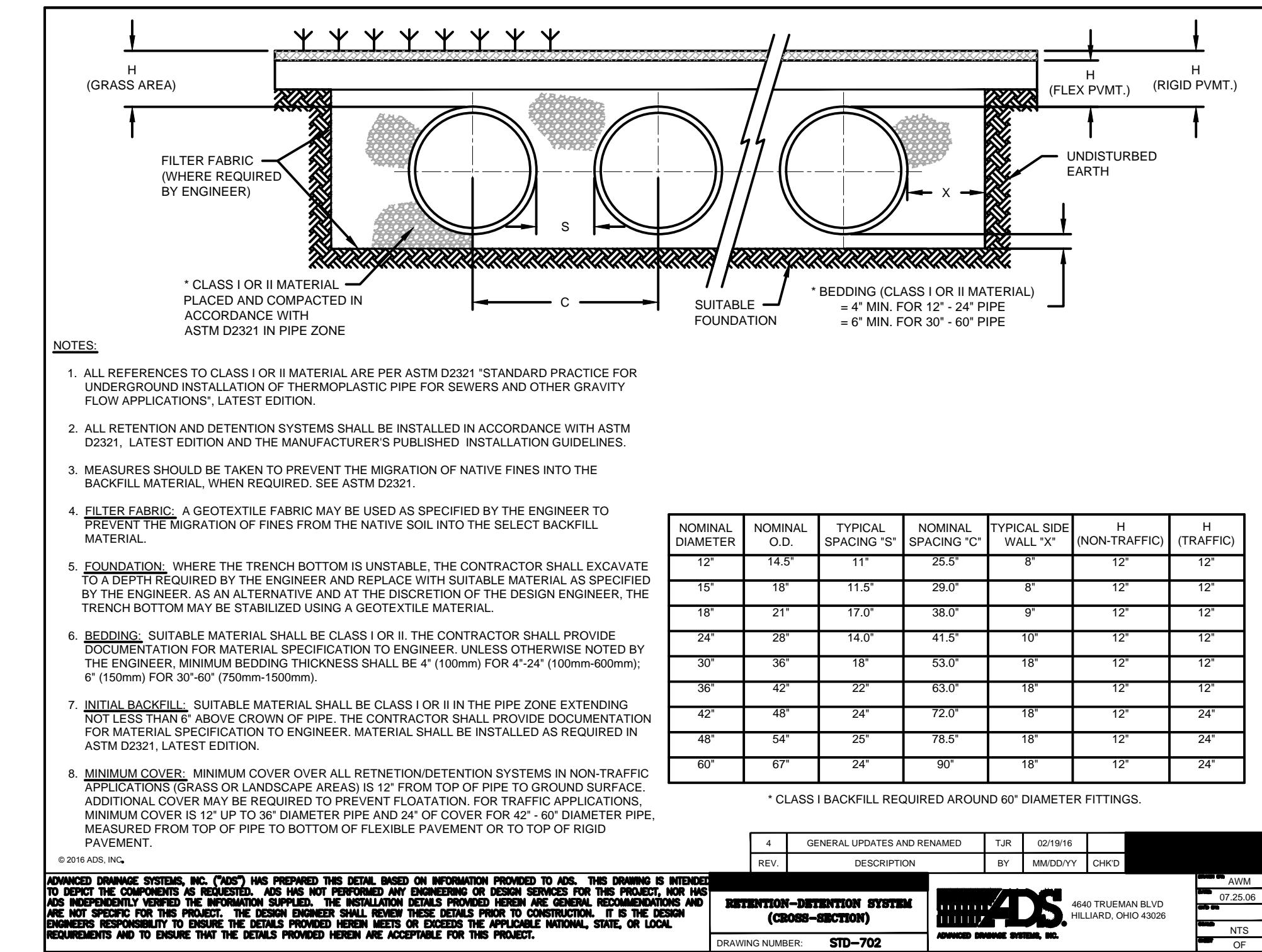
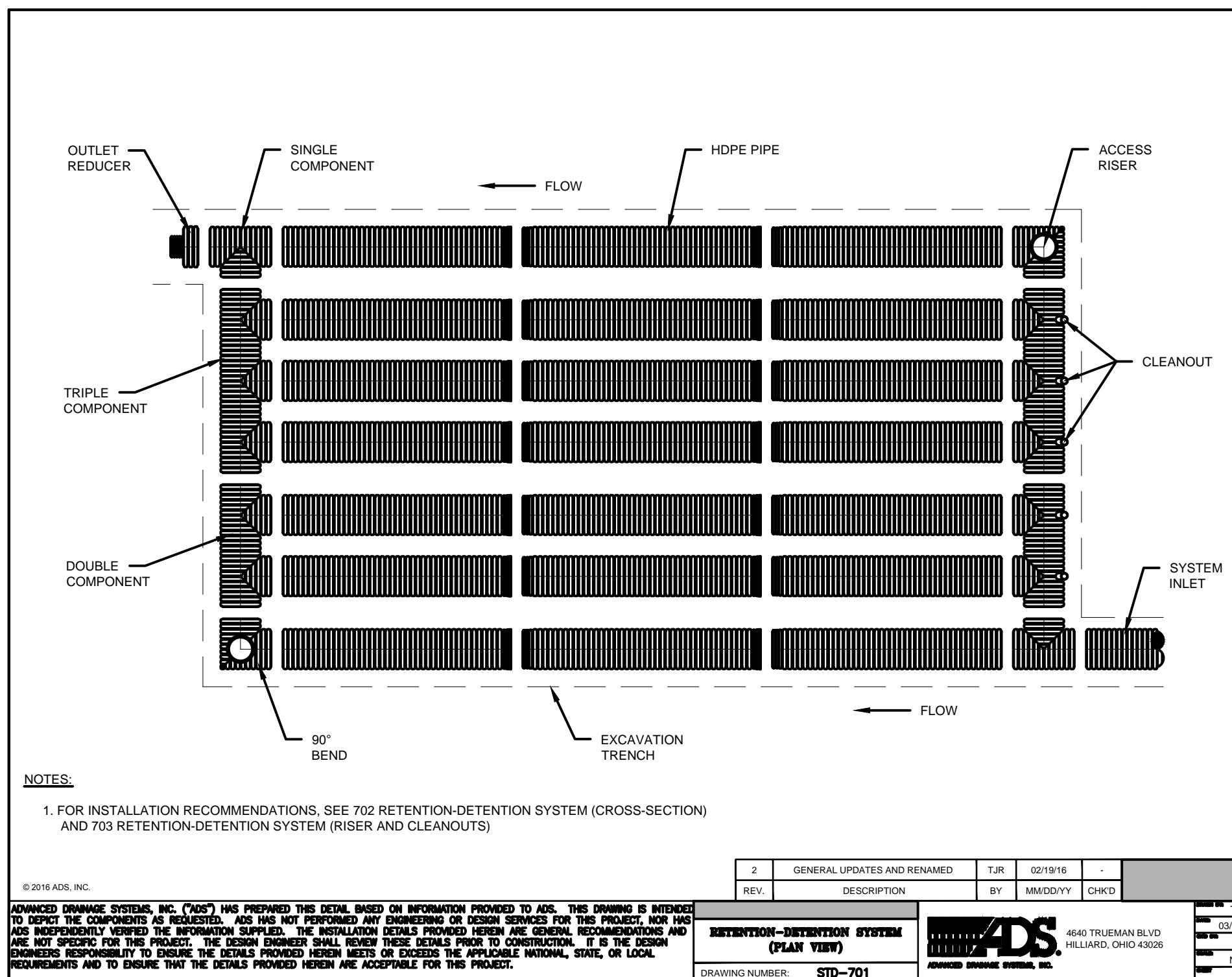
Details

Not To Scale

THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATIONS OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO AND/OR DURING CONSTRUCTION. AT LEAST 72 HOURS PRIOR TO EXCAVATING, MASSACHUSETTS DIG-SAFE SHOULD BE CONTACTED AT 1-800-322-4844.







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Notice of Appeals

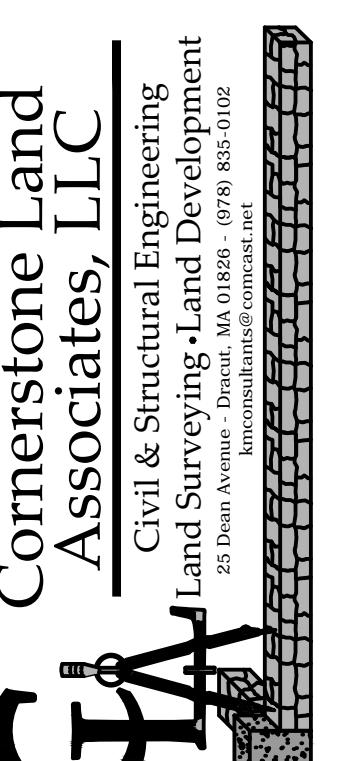
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SCALE: As Shown
DATE: May 18, 2023

PREPARED FOR:
Riverbank Properties
908 Lawrence Street
Lowell, MA 01852

DETAILS PLAN

Comprehensive Permit Application

135 GREENMONT AVENUE

DRACUT, MASSACHUSETTS

JOB NO.: 2021-235

SHEET: 9 of 10

DRAWING NO.

C-109

APPROVED DRACUT ZONING BOARD OF APPEALS

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GRAPHIC SCALE (ft)

0 30

