

SITE PLAN

APPROVED DRACUT ZONING BOARD OF APPEALS

SIGNATURE **DATE**

For Registry Use Only

certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

Signature _____ Date _____

Notice of Appeals

I, _____, being the Town Clerk of the Town of Dracut
hereby certify that notice of this plan has been received and recorded at this office on _____.

_____, and no appeal of such has been received during the twenty days.

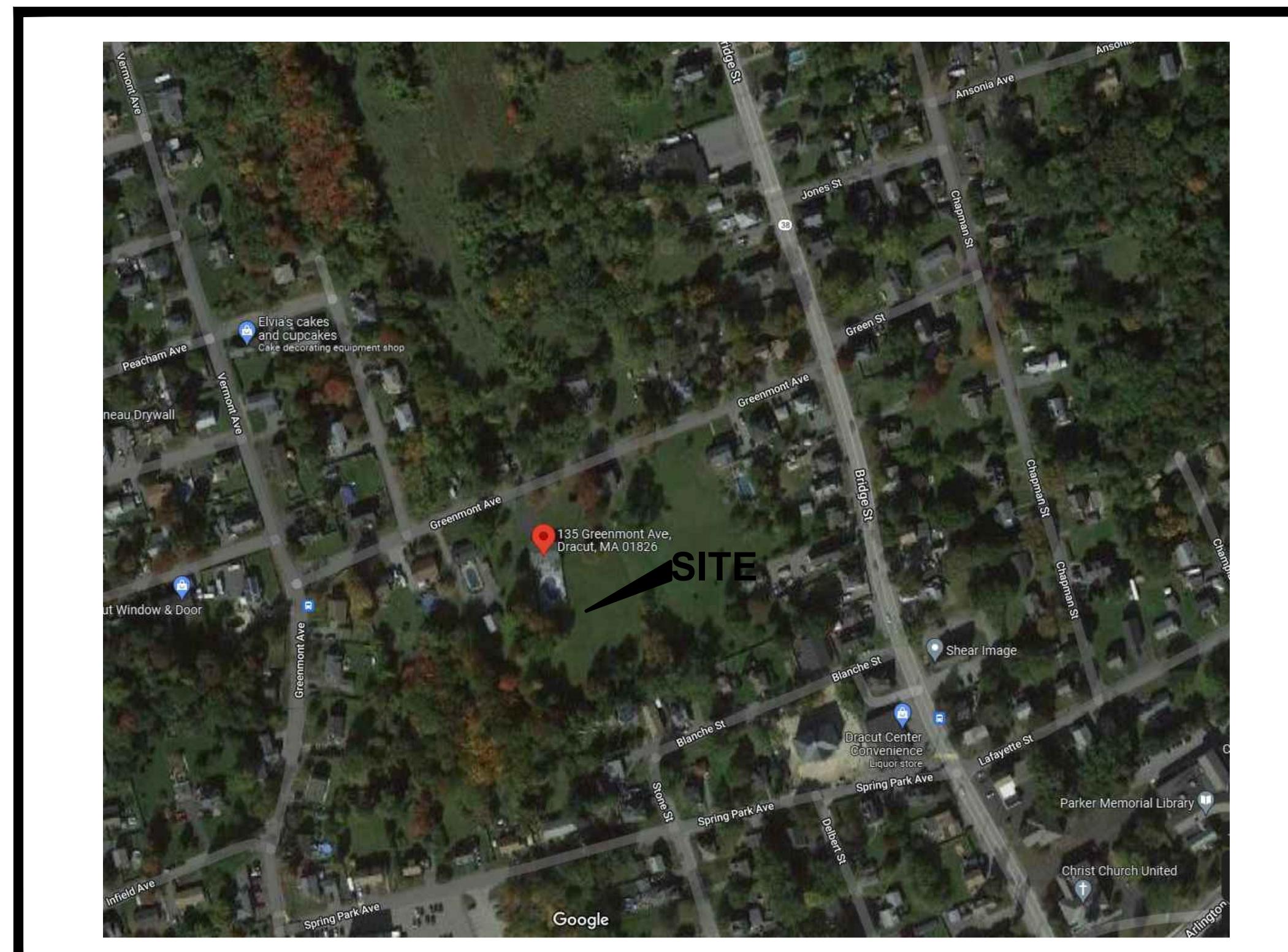


TABLE OF CONTENTS

SHEET	TITLE
C-101	Existing Conditions
C-102	Layout & Utilities
C-103	Grading & Drainage
C-104	Erosion Control
C-105	Landscape & Lighting
C-106	Details & Sections
C-107	Details & Sections
C-108	Details & Sections
C-109	Details & Sections
C-110	Emergency Access

Greenmont Commons

135 Greenmont Avenue

Dracut, MA

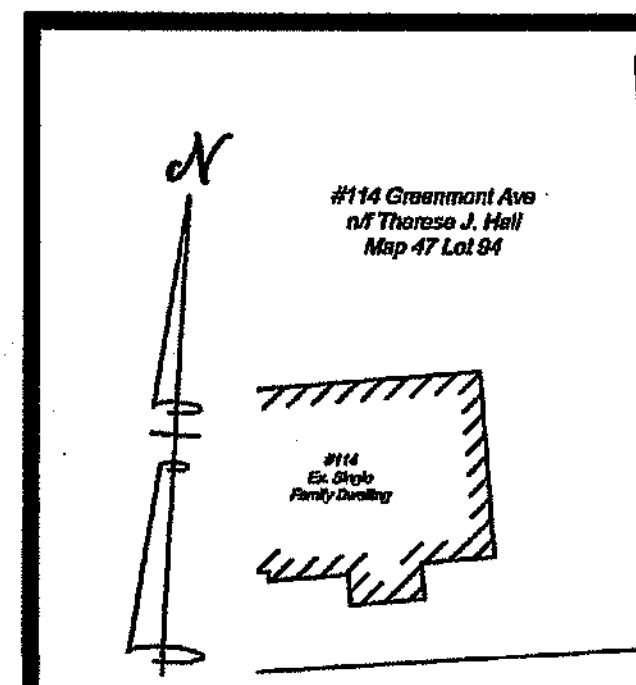
DATE	REVISION	BY
12/10/24	REVS PER ZONING BOARD OF APPEALS MEETING AND ZBA PEER REVIEW COMMENTS	KML
11/20/24	REVS PER ZONING BOARD OF APPEALS MEETING AND ZBA PEER REVIEW COMMENTS	KML
08/20/24	REVS PER ZONING BOARD OF APPEALS MEETING AND ZBA PEER REVIEW COMMENTS	KML

Cornerstone Land
Associates, LLC

Civil & Structural Engineering
Land Surveying. Land Development

25 Dean Avenue - Dracut, MA 01826 - (978) 835-0102
kmconsultants@comcast.net

May 18, 2023 Dwg. No. 2021-235



ONTARIO AVENUE



APPROVED DRACUT ZONING BOARD OF APPEALS

SIGNATURE _____ DATE _____

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"I certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

Signature _____ Date _____

Notice of Appeals

I, _____, being the Town Clerk of the Town of Dracut, hereby certify that notice of this plan has been received and recorded at this office on _____, and no appeal of such has been received during the twenty days next.

Town Clerk _____ Date _____

Site Plan

SCALE: 1 in. = 30 ft.

GRAPHIC SCALE (ft)

BLANCHE STREET

REFERENCES

1. DEEDS: A. Deed Recorded in the Middlesex North District Registry of Deeds in Book 31043 Page 105.

2. PLANS: A. "Plan of Land in Dracut, Mass"; prepared by Dana F. Perkins & Sons, Inc., Civil Engineers & Surveyors; dated June 23, 1968; recorded in the Middlesex North District Registry of Deeds in Book of Plans 104 Page 25.

3. DOCUMENTS: A. Comprehensive Permit Application Submittal for Branco Perego; by Cornerstone Land Consultants, Inc.; dated April 5, 2022.

NOTES

1. PURPOSE: This plan is to meet the filing requirements of the Dracut Zoning Board of Appeals to obtain a Comprehensive Permit Application Approval. These Plans shall not be utilized for construction. Construction documents will be issued once the Comprehensive Permit is approved and the documents are requested in writing by the Applicant.

2. PROPERTY LINES: Existing property lines shown are from Reference 1A and 2A.

3. OWNER & APPLICANT: The subject property shown is owned by Jose Luis "Branco" Perego; 135 Greenmont Avenue, Dracut, MA as shown by current assessor's records. The applicant is Riverbank Properties.

4. ZONING: All lots are within the R-1 (Residential) Zoning District.

5. TOPOGRAPHY: Site details shown are the result of an instrument survey performed in February through April 2022. Vertical datum shown is the North American Vertical Datum of 1988 (NAVD88).

6. FLOODPLAIN: The property is located in a Zone X area and is not located within a 100 Year floodplain area according to the most recent FEMA maps: Map #25017CD141E dated June 4, 2010.

7. ACEC: The property is not located within an Area of Critical Environmental Concern.

8. NHESP: There are no estimated habitats of rare wildlife or certified vernal pools on the property.

9. RESOURCE AREA: Existing resource area flags were identified in the field by this office and the flagging was located by instrument survey as described by Note 5. Permanent sign markers to be installed at B/W Wellflags A1-A6.

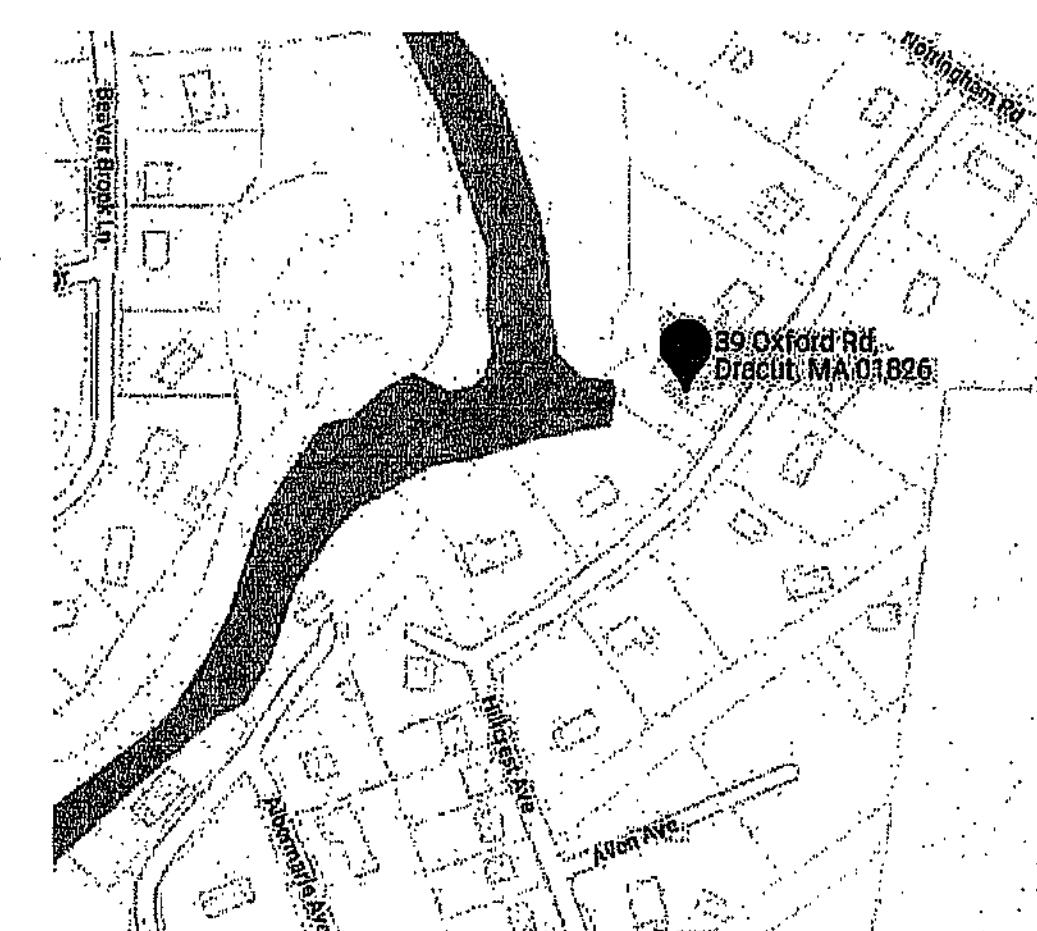
10. LIMIT OF WORK: The location of the erosion control within the wetland buffer area will be the limit of work line as shown. Erosion Control to be installed 1 ft off the western and southern property lines.

11. SOILS: Soils on the site have been classified in accordance with the USDA Middlesex County Soil Report Version 12, dated February 26, 2010, as 310A - Woodbridge fine sandy loam, 0-3% slopes and 71B - Ridgebury fine sandy loam, 3-8% slopes. See Reference 3A for additional USDA soil information.

12. UTILITIES: Known existing underground utilities are shown on the Site Plan. A determination as to the existence of any other underground utilities has not been made and the absence of same is not implied or intended. The contractor shall contact the proper authorities to verify the location of all existing underground utilities and structures prior to construction.

13. ORDER OF CONDITIONS: Construction on this site is subject to an Order of Conditions to be issued by the Dracut Conservation Commission and Massachusetts Department of Environmental Protection.

14. CERTIFICATION: Certification is made regarding the stated purpose of this plan only, as given in Note 1. This plan shall not be used for the layout of lot lines or structures and shall not be used for any other purpose without the written consent of Cornerstone Land Associates, LLC.



Locus Map

Not To Scale

LEGEND

EXISTING	PROPOSED
100	100
WF-1	
TEXT, Text	TEXT, Text
CONCRETE BOUND MARKER	
GENERAL TEXT	
50 FT NO BUILD ZONE	
100 FT B/W BUFFER ZONE	

EXISTING CONDITIONS PLAN
Comprehensive Permit Application
135 GREENMONT AVENUE
DRACUT, MASSACHUSETTS

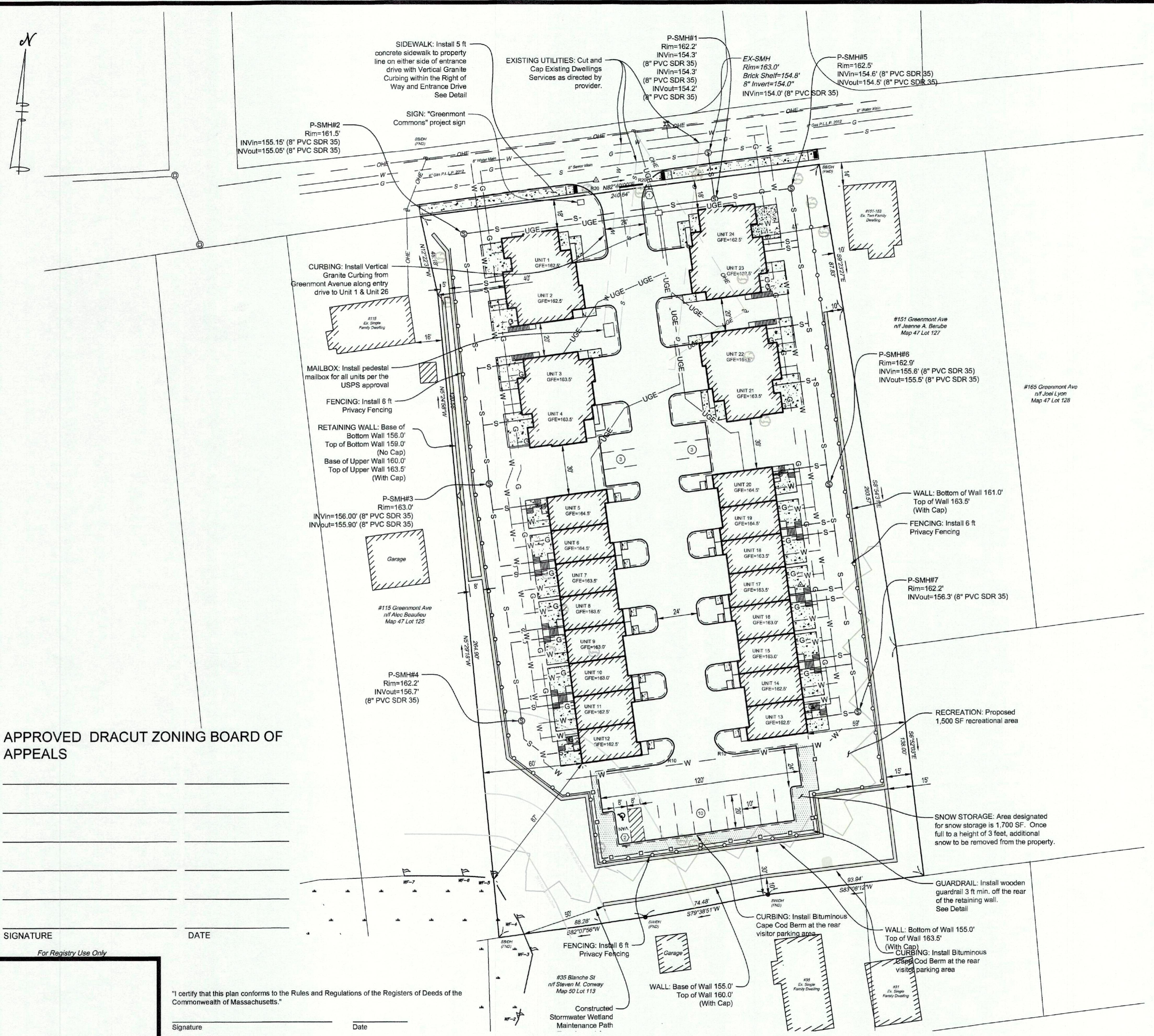
CORNERSTONE
Land Associates, LLC
Civil Engineering - Land Planning
25 Dean Avenue - Dracut, MA 03426
kmconsultants@comcast.net

SCALE: As Shown
DATE: May 18, 2023
PREPARED FOR:
Riverbank Properties
908 Lawrence Street
Lowell, MA 01852

JOB NO.: 2021-235
SHEET: 1 of 8
DRAWING NO.
C-101

DATE	REVISION REVIS. PER ZONING AND ZER. PER REVIEW COMMENTS	BOARD OF APPEALS MEETING AND ZER. PER REVIEW COMMENTS	DESIGN BY KML	SURVEY BY KML/TAJ	DRAFT BY KML	CHECK BY JAV/TAJ
10/01/23						

SEAL OF THE DRACUT ZONING BOARD OF APPEALS
ROGER HOGGARD, CHAIRMAN
AFSHAR, HOGGARD & ASSOCIATES, PC
PROFESSIONAL CORPORATION
CONTINUED FROM AND INTEGRAL PART OF
ORIGINAL STAMP AND/OR SIGNATURE



REFERENCES

1. DEEDS:
A. Deed Recorded in the Middlesex North District Registry of Deeds in Book 31043 Page 105.

2. PLANS:
A. "Plan of Land in Dracut, Mass"; prepared by Dana F. Perkins & Sons, Inc. Civil Engineers & Surveyors; dated June 23, 1986; recorded in the Middlesex North District Registry of Deeds in Book of Plans 104 Page 25.

3. DOCUMENTS:
A. Comprehensive Permit Application Submittal for Branco Perego; by Cornerstone Land Consultants, Inc.; dated April 20, 2022.

NOTES

1. PURPOSE: This plan is to meet the filing requirements of the Dracut Zoning Board of Appeals to obtain a Comprehensive Permit Application Approval for 24 apartment units. These Plans shall not be utilized for construction. Construction documents will be issued once the Comprehensive Permit is approved and the documents are requested in writing by the Applicant.

2. PROPERTY LINES: Existing property lines shown are from Reference 1A and 2A.

3. OWNER & APPLICANT: The subject property shown is owned by Jose Luis "Branco" Perego; 135 Greenmont Avenue, Dracut, MA as shown by current assessor's records. The applicant is Riverbank Properties.

4. ZONING: All lots are within the R-1 (Residential) Zoning District.

5. TOPOGRAPHY: Site details shown are the result of an instrument survey performed in February through April 2022. Vertical datum is the North American Vertical Datum of 1988 (NAVD88).

6. FLOODPLAIN: The property is located in a Zone X area and is not located within a 100 Year floodplain area according to the most recent FEMA maps; Map #25017C0141E dated June 4, 2010.

7. ACEC: The property is not located within an Area of Critical Environmental Concern.

8. NHESP: There are no estimated habitats of rare wildlife or certified vernal pools on the property.

9. RESOURCE AREA: Existing resource area flags were identified in the field by this office and the flagging was located by instrument survey as described by Note 5. Permanent sign markers to be installed at BVW Wetflags A1-A6.

10. LIMIT OF WORK: The location of the erosion control within the wetland buffer area will be the limit of work line as shown. Erosion Control to be installed 1 ft off of the western and southern property lines.

11. SOILS: Soils on the site have been classified in accordance with the USDA Middlesex County Soil Report Version 12, dated February 28, 2010, as 310A - Woodbridge fine sandy loam, 0-3% slopes and 71B - Ridgebury fine sandy loam, 3-8% slopes. See Reference 3A for additional USDA soil information.

12. UTILITIES: The location of all existing subsurface sewage disposal systems and other utilities shown are approximate and must be confirmed by the respective utility authorities prior to any construction. The utility authorities shall also be consulted for their respective specifications prior to installation of all proposed utilities shown. All existing utilities to the existing dwelling to be demolished and cut and capped as required.

Proposed Sewer Flow from 24 Unit Multi Family Townhouse Development = 7,920 GPD.

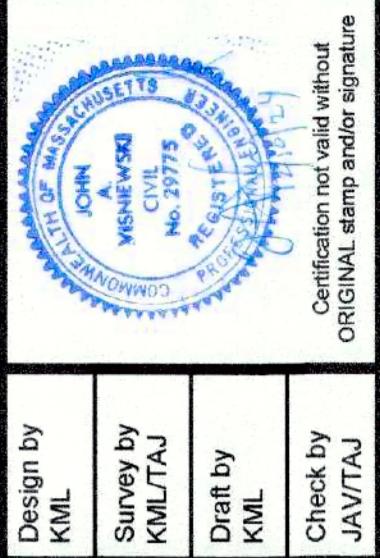
At a minimum, the builder shall utilize the following minimum utility sizing for each unit:
A. Sewer Service Main Line -> Connection -> 8" SDR 35 PVC w/Min. Slope of 0.005 ft/ft
Individual Unit Connections -> 4" SDR 35 PVC w/Min. under concrete slab at a Slope of 1/4" per foot and Min Cover of 5 ft
B. Water Service Main Line -> 6" Class 52 Ductile Iron w/Tyton Joint
Individual Unit Connections -> 3/4" Type "K" Copper Tubing or Polyethylene Endopure PE-Class 200 piping w/Brass Curb Stop and 5/8" Meter
Fire Service Connections -> 2" Type "K" Copper Tubing or Polyethylene Endopure PE-Class 200 piping w/Brass Hose Connection. Location to be verified with Dracut Fire Department prior to installation.
C. Gas Connection -> 1" MDPE Gas Pipe
D. Electric Connection -> 200 Amp Service within each unit

13. ORDER OF CONDITIONS: Construction on this site is subject to an Order of Conditions to be issued by the Dracut Conservation Commission and Massachusetts Department of Environmental Protection.

14. TRASH: The Trash Collection for the project will be collected from a Private Trash Service coordinated through the Property Maintenance company and be picked up outside each unit.

15. MAIL DELIVERY: The Project Team will work with the United States Postal Service Town of Dracut Post Master to determine the location of the Project Mailbox and delivery access.

16. CERTIFICATION: Certification is made regarding the stated purpose of this plan only, as given in Note 1. This plan shall not be used for the layout of lot lines or structures and shall not be used for any other purpose without the written consent of Cornerstone Land Associates, LLC.



Cornerstone Land Associates, LLC
Civil & Structural Engineering
Land Surveying, Land Development
25 Dean Avenue • Dracut, MA 01825 • (978) 835-0102



LAYOUT & UTILITIES PLAN
Comprehensive Permit Application
135 GREENMONT AVENUE
DRACUT, MASSACHUSETTS

JOB NO.: 2021-235

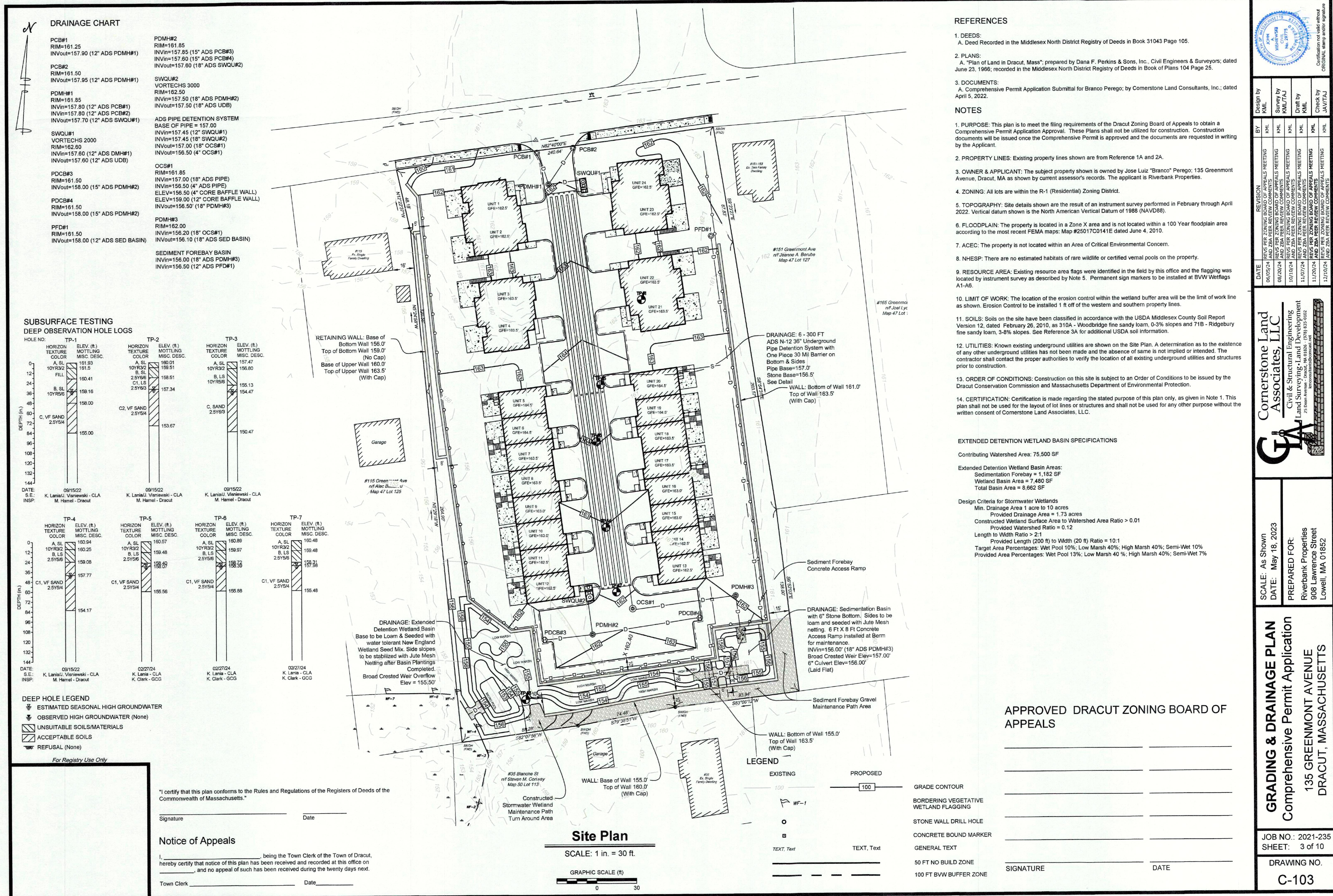
SHEET: 2 of 10

DRAWING NO.

C-102

DATE	REVISION	BY	Design by
03/01/24	REVS PER ZONING BOARD OF APPEALS MEETING	KML	KML
04/10/24	REVS PER ZONING BOARD OF APPEALS MEETING	KML	KML
04/05/24	REVS PER ZONING BOARD OF APPEALS MEETING	KML	KML
04/20/24	REVS PER ZONING BOARD OF APPEALS MEETING	KML	KML
10/10/24	REVS PER ZONING BOARD OF APPEALS MEETING	KML	KML
12/10/24	REVS PER ZONING BOARD OF APPEALS MEETING	KML	KML

LEGEND	EXISTING	PROPOSED	
100	100	100	GRADE CONTOUR
WF-1			BORDERING VEGETATIVE WETLAND FLAGGING
●			STONE WALL DRILL HOLE
■			CONCRETE BOUND MARKER
TEXT, Text			GENERAL TEXT
50 FT NO BUILD ZONE			
100 FT BVW BUFFER ZONE			



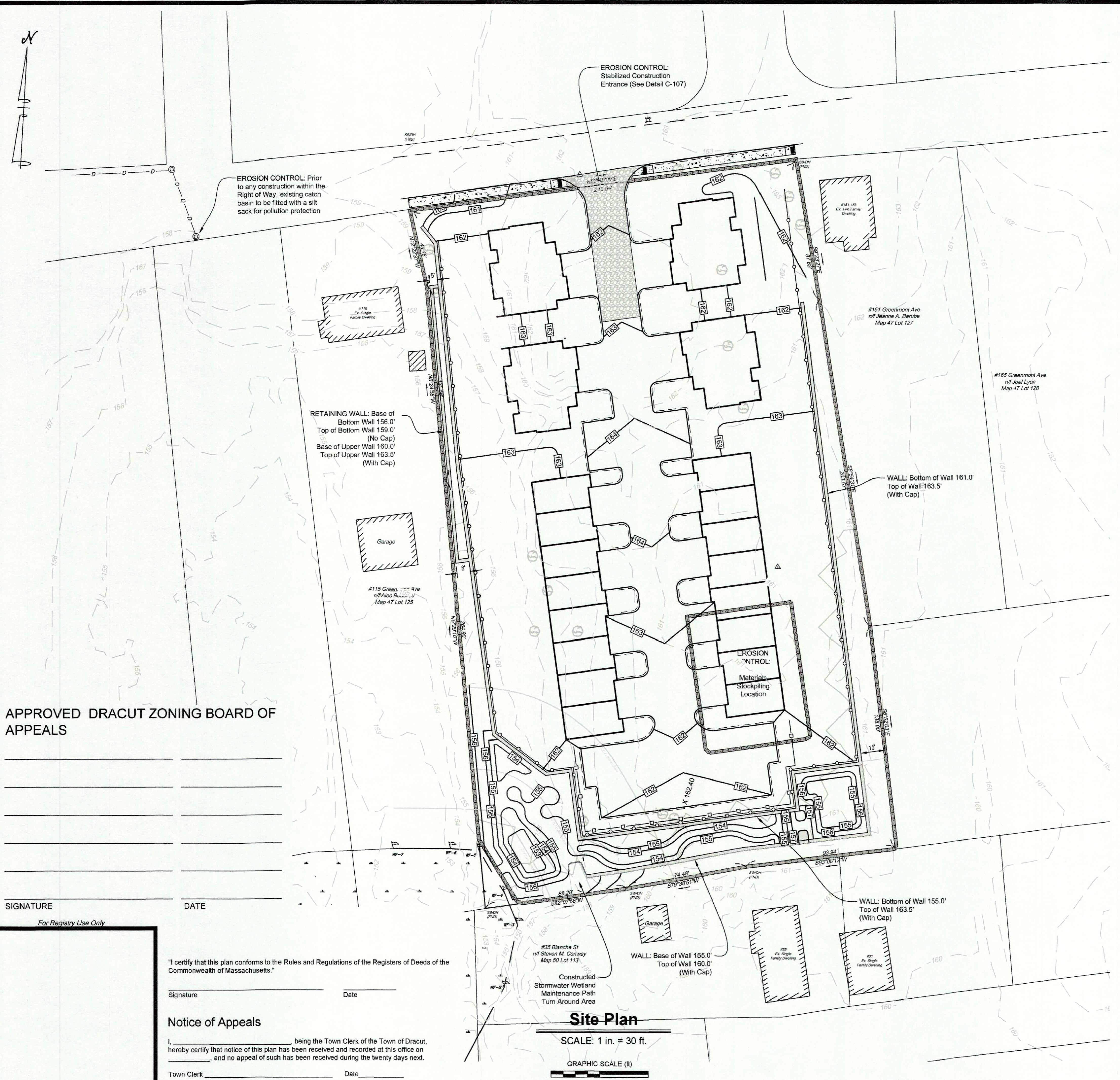
CONFIRMATION not valid without
ORIGINAL stamp added to this plan

JOB NO.: 2021-235

SHEET: 3 of 10

DRAWING NO.

C-103



APPROVED DRACUT ZONING BOARD OF
APPEALS

SIGNATURE	DATE
-----------	------

"I certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

Signature	Date
-----------	------

Notice of Appeals

Town Clerk _____ **Date** _____

Site Plan

SCALE: 1 in. = 30 ft.

GRAPHIC SCALE (ft)

LEGEND

EXIST

PROPOSED

ORDERING VEGETATIVE CUTTING AND FLAGGING

ONE WALL DRILL HOLE

CONCRETE BOUND MARKER

GENERAL TEXT

FT NO BUILD ZONE

10 FT BVW BUFFER ZONE

EROSION CONTROL PLAN

Comprehensive Permit Application

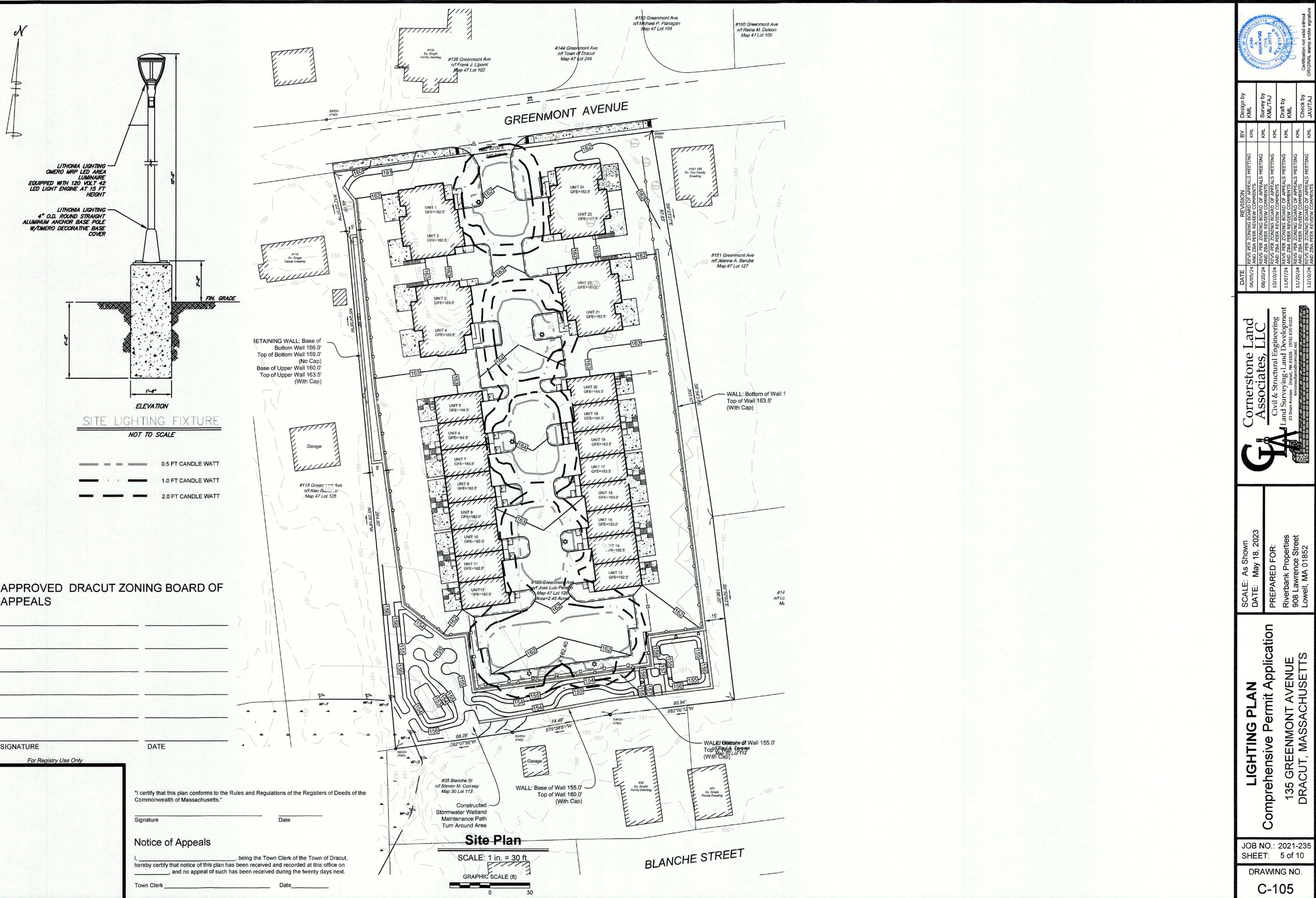
JOB NO.: 2021-235
SHEET: 4 of 10

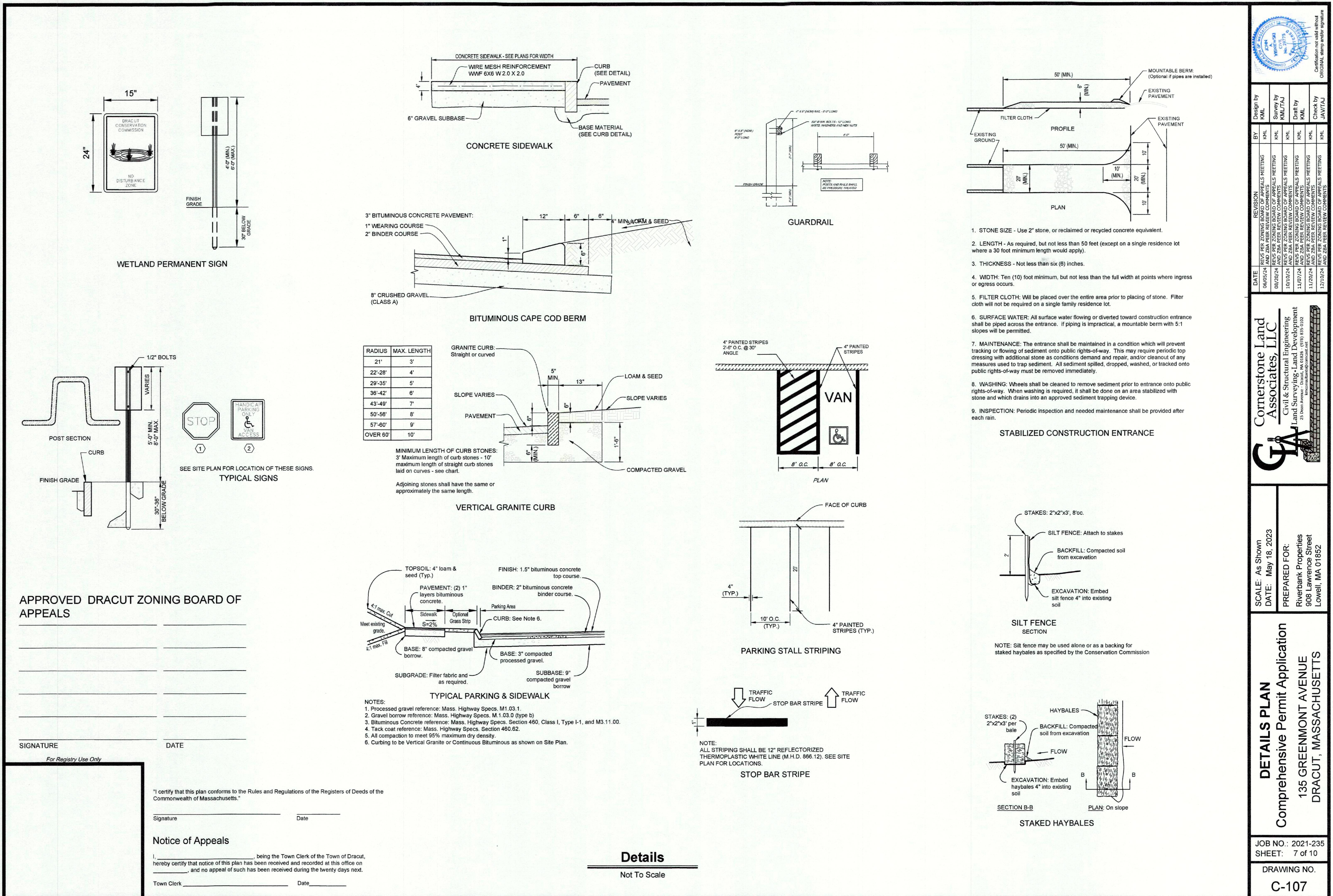
DRAWING NO.

C-10



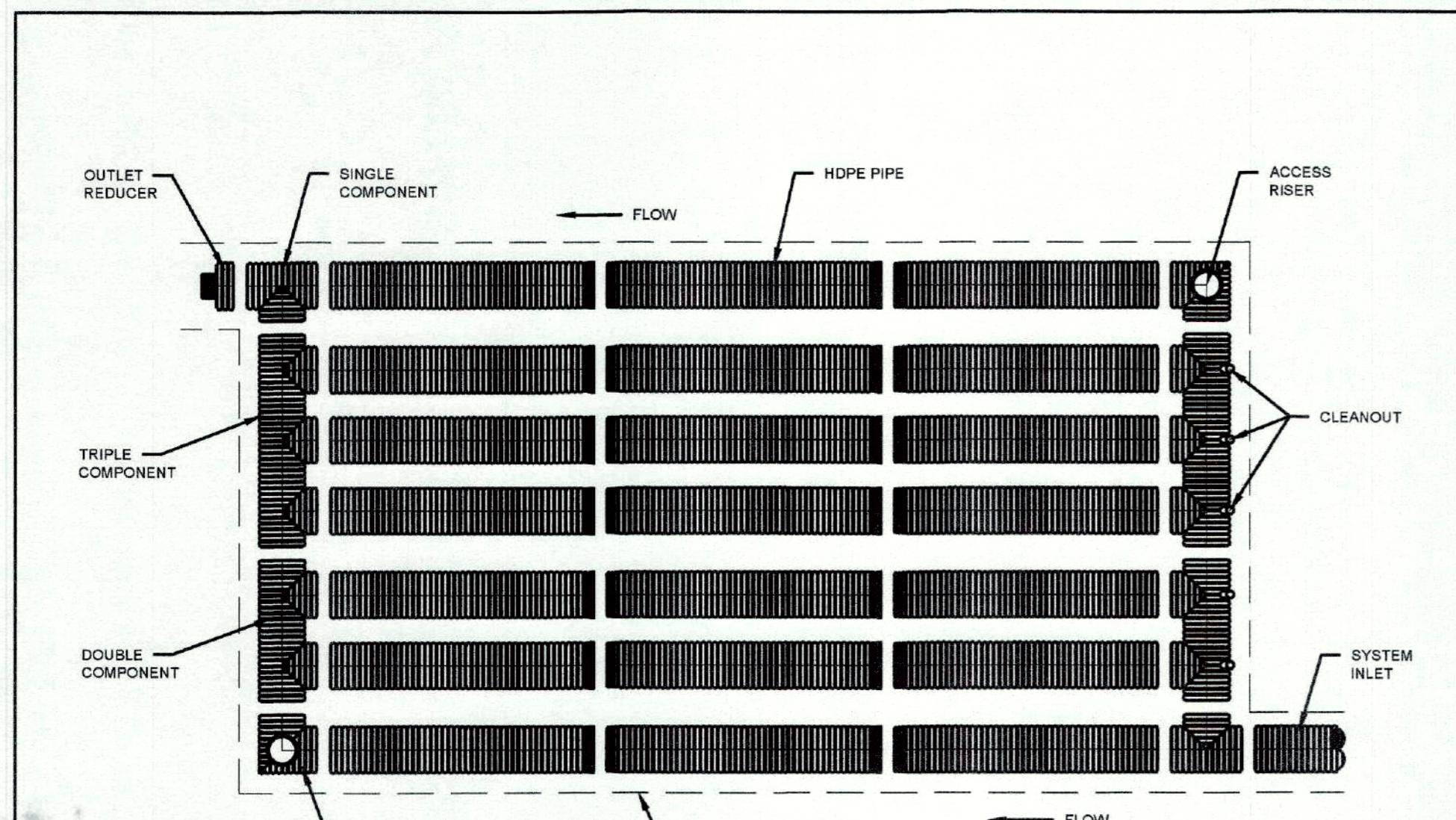
Certification not valid without
ORIGINAL stamp and/or signature





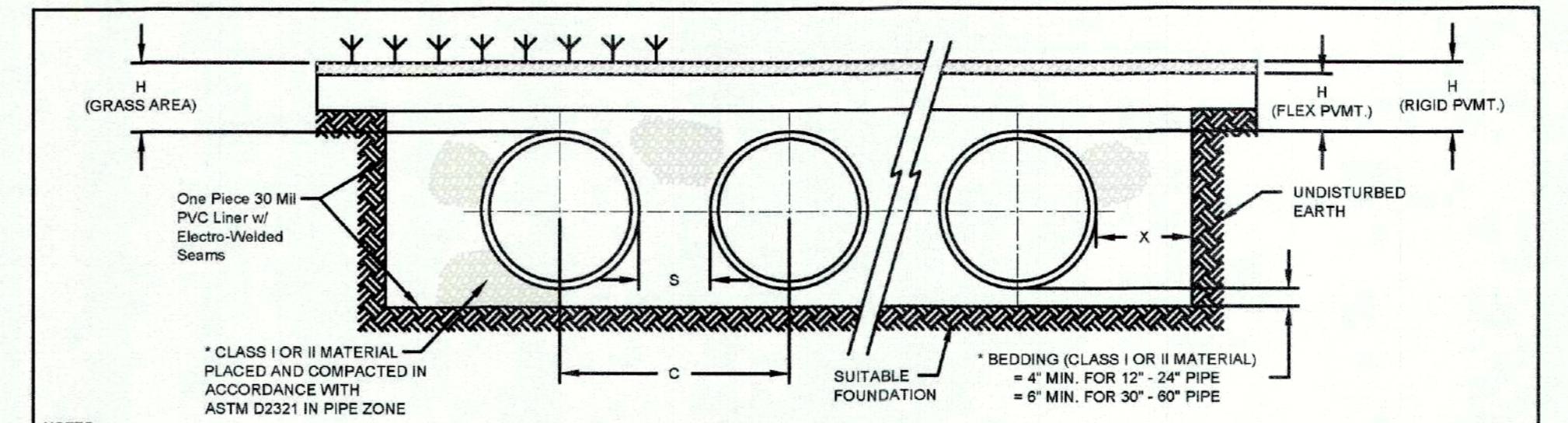


Certification not valid without original stamp and/or signature



NOTES:
1. FOR INSTALLATION RECOMMENDATIONS, SEE 702 RETENTION-DETENTION SYSTEM (CROSS-SECTION) AND 703 RETENTION-DETENTION SYSTEM (RISER AND CLEANOUTS)

2	GENERAL UPDATES AND RENAMED	T/R	02/19/16	J
REV.	DESCRIPTION	BY	MM/DD/YY	CHCD
4	RETENTION-DETENTION SYSTEM (PLAN VIEW)	ADS	4640 TRUMAN BLVD	02/19/16
	RETENTION-DETENTION SYSTEM (CROSS-SECTION)		HILLiard, OHIO 43026	
	DRAWING NUMBER: STD-701	ADS	Advanced Drainage Systems, Inc.	NTS OF



NOTES:
1. ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
2. ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
3. MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED, SEE ASTM D2321.

4. FILTER FABRIC: A GEOTEXTILE FABRIC MAY BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.

5. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE THE TRENCH BOTTOM TO A STABILIZED BOTTOM AS SPECIFIED BY THE ENGINEER, AS SHOWN BY THE ENGINEERS AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.

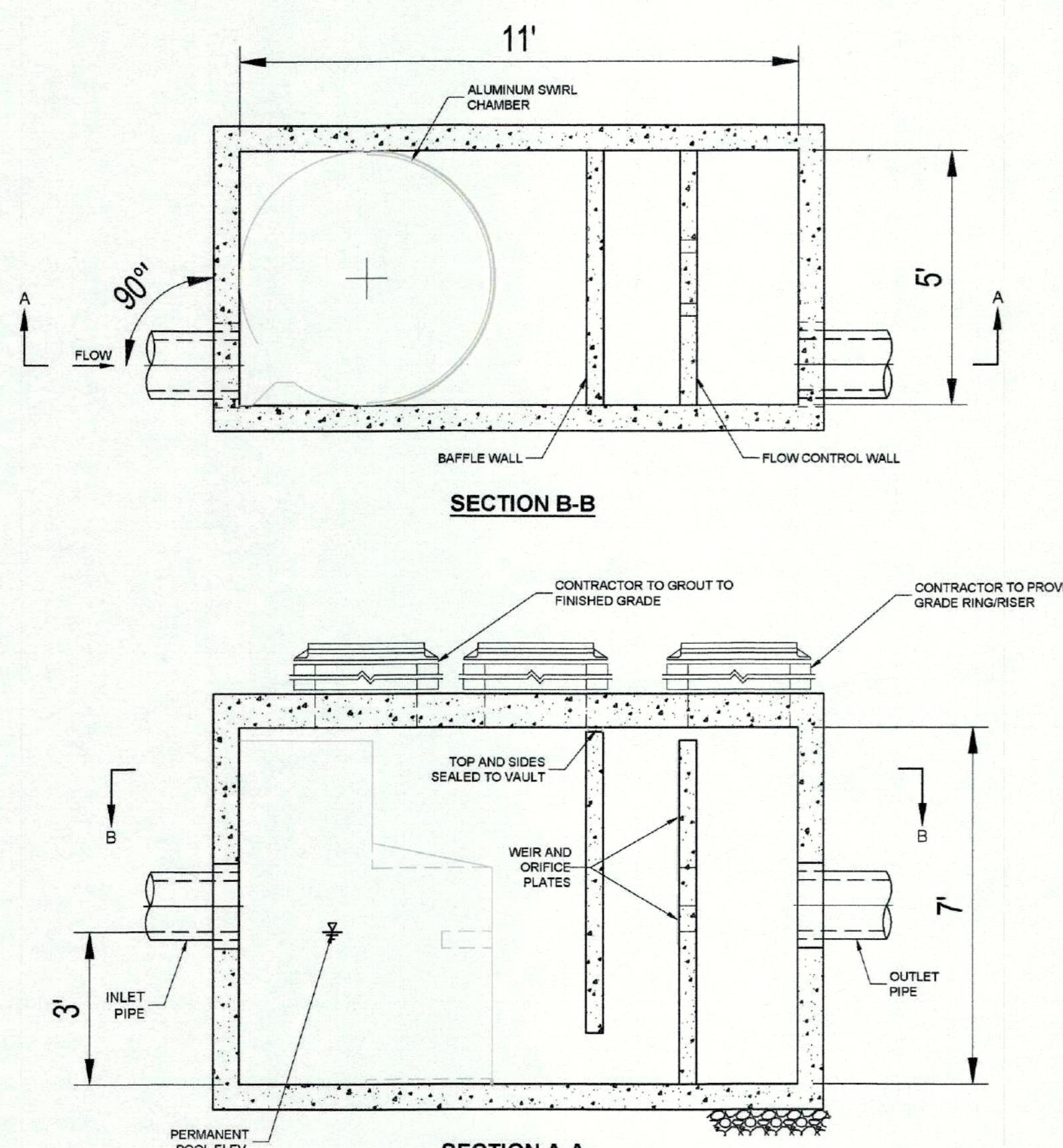
6. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I OR II. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-1500mm).

7. INTERNAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I OR II IN THE PIPE ZONE EXTENDING TO THE ELEVATION OF THE GROUND SURFACE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.

8. MINIMUM COVER: MINIMUM COVER OVER ALL RETENTION/DETENTION SYSTEMS IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER IS 12" TO 36" UP TO 36" DIAMETER PIPE AND 18" OF COVER FOR 4"-10" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

* CLASS I BACKFILL REQUIRED AROUND 80" DIAMETER FITTINGS.

4	GENERAL UPDATES AND RENAMED	T/R	02/19/16	J
REV.	DESCRIPTION	BY	MM/DD/YY	CHCD
4	RETENTION-DETENTION SYSTEM (PLAN VIEW)	ADS	4640 TRUMAN BLVD	02/19/16
	RETENTION-DETENTION SYSTEM (CROSS-SECTION)		HILLiard, OHIO 43026	
	DRAWING NUMBER: STD-702	ADS	Advanced Drainage Systems, Inc.	NTS OF



For Registry Use Only

VORTECHS MODEL 3000

"I certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

Signature _____ Date _____

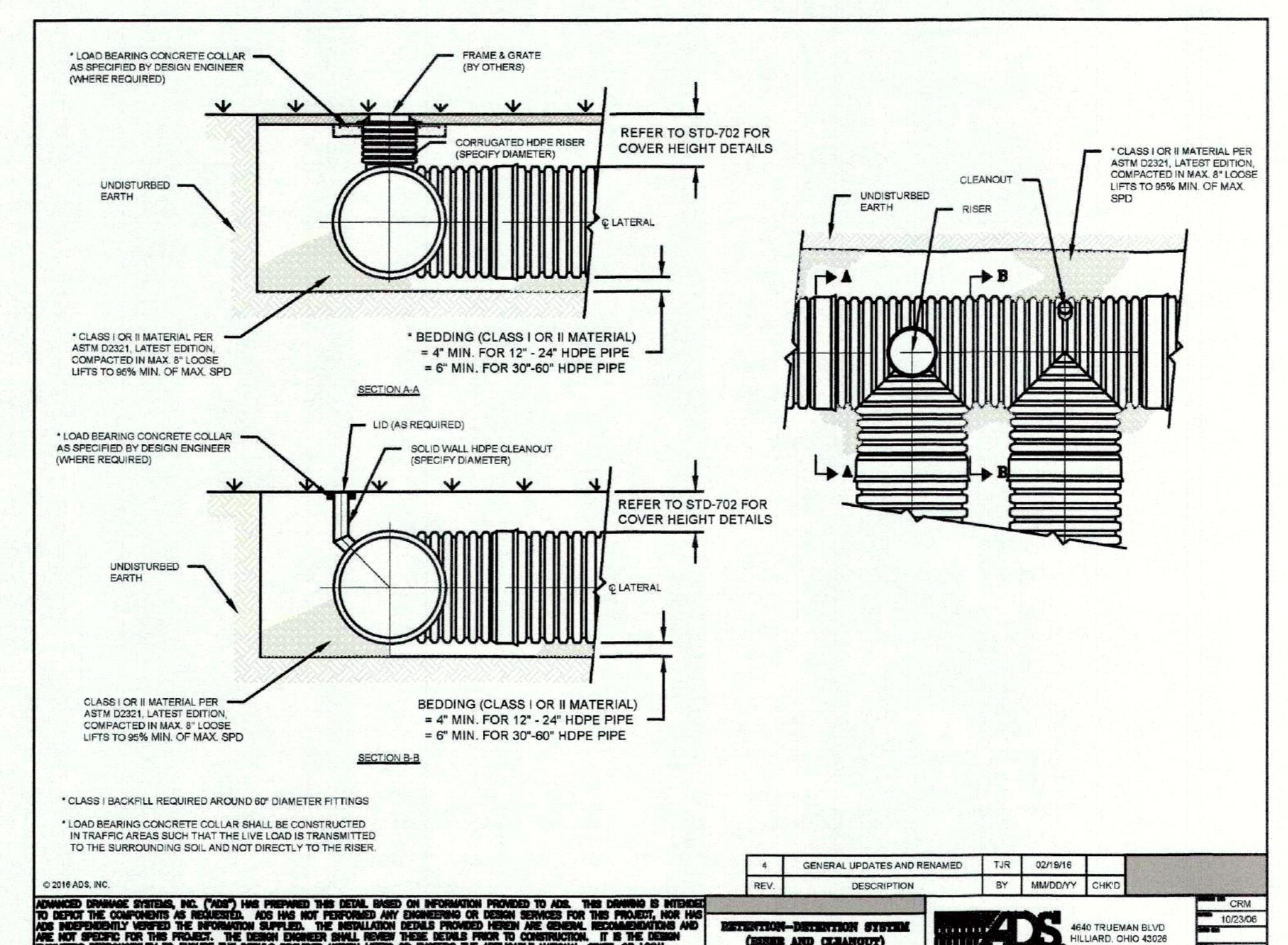
Notice of Appeals

I, _____, being the Town Clerk of the Town of Dracut, hereby certify that notice of this plan has been received and recorded at this office on _____, and no appeal of such has been received during the twenty days next.

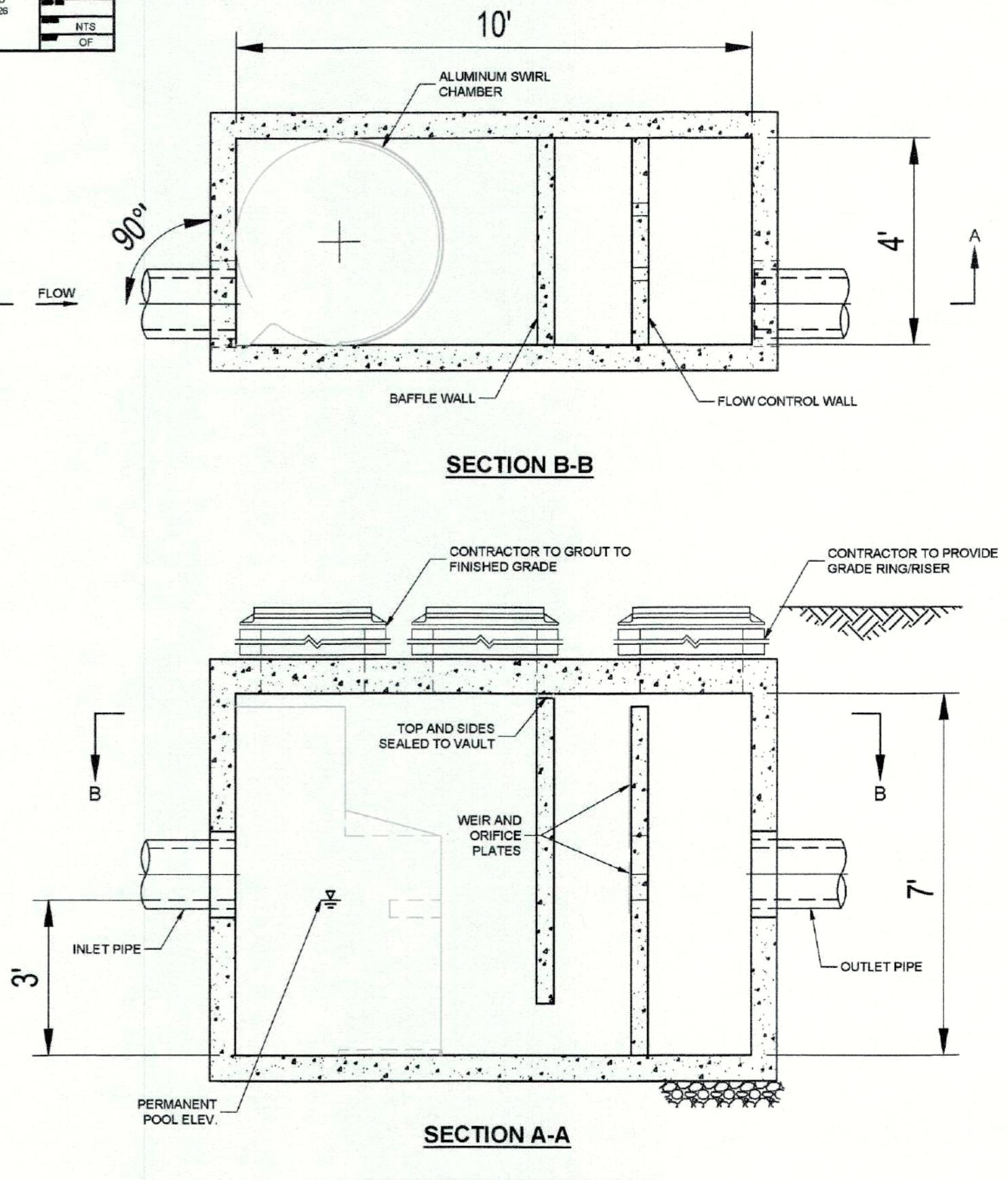
Town Clerk _____ Date _____

Details

Not To Scale



4	GENERAL UPDATES AND RENAMED	T/R	02/19/16	J
REV.	DESCRIPTION	BY	MM/DD/YY	CHCD
4	RETENTION-DETENTION SYSTEM (RISER AND CLEANOUT)	ADS	4640 TRUMAN BLVD	02/19/16
	RETENTION-DETENTION SYSTEM (CROSS-SECTION)		HILLiard, OHIO 43026	
	DRAWING NUMBER: STD-703	ADS	Advanced Drainage Systems, Inc.	NTS OF



VORTECHS MODEL 2000

APPROVED DRACUT ZONING BOARD OF APPEALS

DETAILS PLAN

Comprehensive Permit Application

135 GREENMONT AVENUE
DRACUT, MASSACHUSETTS

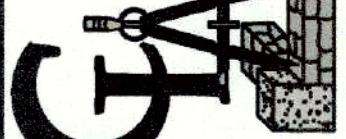
JOB NO.: 2021-235

SHEET: 9 of 10

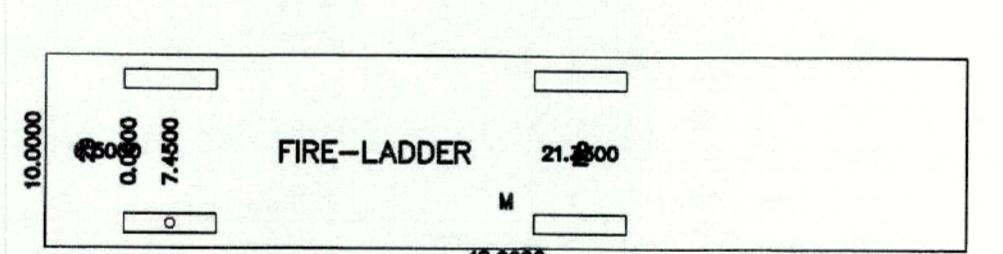
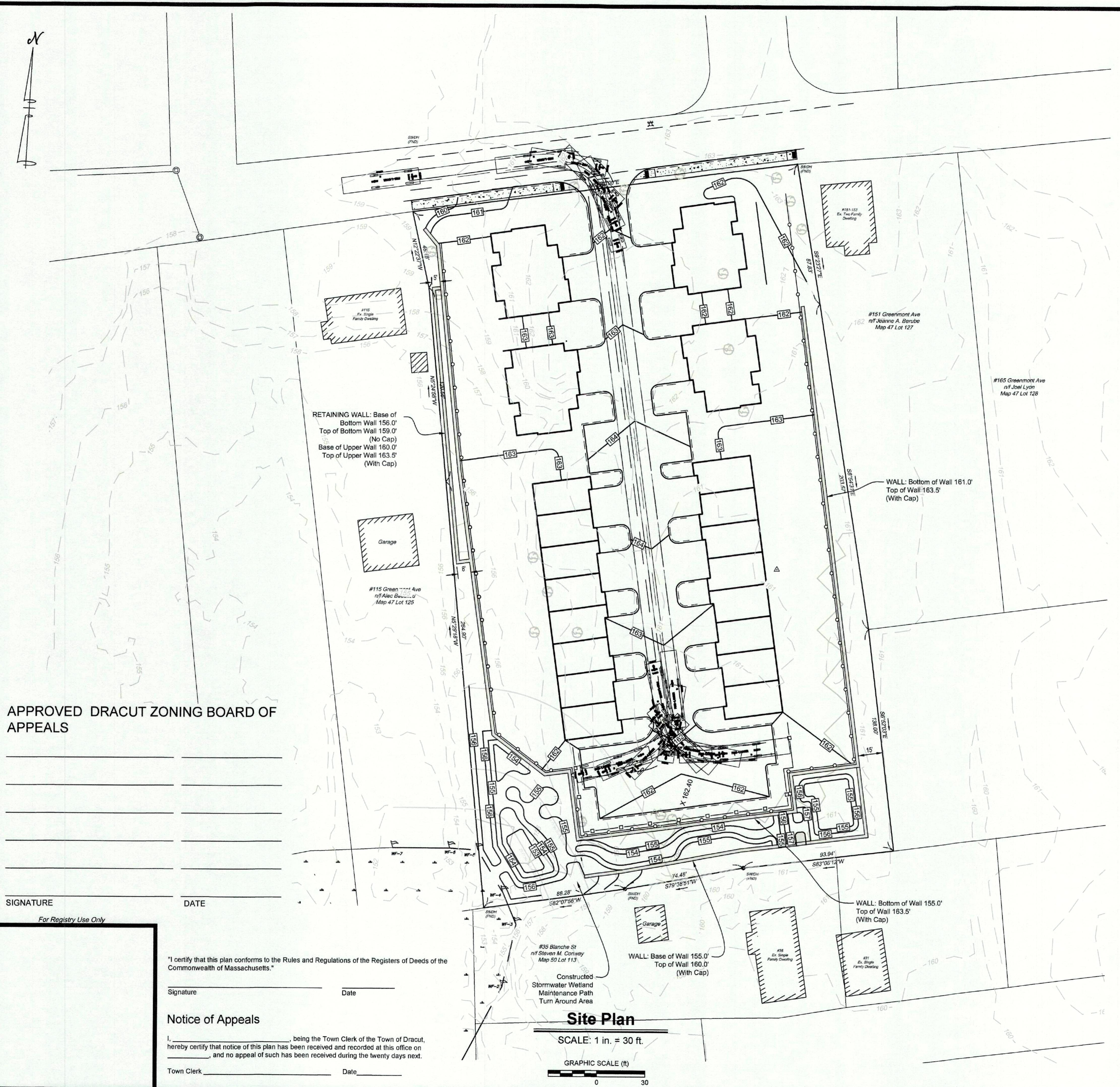
DRAWING NO.

C-109

REVISION	DATE	BY	Design by
1	09/05/24	REVS PER ZONING BOARD OF APPEALS MEETING	KML
2	09/20/24	REVS PER ZONING BOARD OF APPEALS MEETING	KML
3	10/10/24	REVS PER ZONING BOARD OF APPEALS MEETING	KML
4	11/07/24	REVS PER ZONING BOARD OF APPEALS MEETING	KML
5	12/20/24	REVS PER ZONING BOARD OF APPEALS MEETING	KML
6	1/20/25	REVS PER ZONING BOARD OF APPEALS MEETING	KML



Cornerstone Land
Associates, LLC
Civil & Structural Engineering
Land Avenue - Dracut, MA 01825 - 978.835.1022
www.cornerstonelandassociates.com



LADDER APPARATUS DIMENSIONS
Length=48'
Width=10'
Height=12'
Wheelbase =21'-4"
S.A.E Turn Radius=49'-9"
Wheelbase width=8'-2"
Ground Clearance=11"

LEGEND	
EXISTING	PROPOSED
100	100
WF-1	GRADE CONTOUR
WETLAND FLAGGING	BORDERING VEGETATIVE
STONE WALL DRILL HOLE	CONCRETE BOUND MARKER
GENERAL TEXT	
TEXT, Text	TEXT, Text
50 FT NO BUILD ZONE	
100 FT BWB BUFFER ZONE	

<p>Cornerstone Land Associates, LLC Civil & Structural Engineering Land Surveying-Land Development 22 Dean Avenue-Dracut, MA 01825 - 978-845-0102 www.cornerstonelandassociates.com</p>	REVISION	BY
	REVIS PER ZONING BOARD OF APPEALS MEETING	KML
	06/05/24 AND ZBA PEER REVIEW COMMENTS	KML
	REVIS PER ZONING BOARD OF APPEALS MEETING	KML
	08/20/24 AND ZBA PEER REVIEW COMMENTS	KML
	REVIS PER ZONING BOARD OF APPEALS MEETING	KML
PREPARED FOR:	REVIS PER ZONING BOARD OF APPEALS MEETING	KML
Riverbank Properties 908 Lawrence Street Lowell, MA 01852	10/10/24 AND ZBA PEER REVIEW COMMENTS	KML
DATE: May 18, 2023	11/07/24 AND ZBA PEER REVIEW COMMENTS	KML
SCALE: As Shown	11/20/24 AND ZBA PEER REVIEW COMMENTS	KML
PREPARED FOR:	12/07/24 AND ZBA PEER REVIEW COMMENTS	KML
REVIS PER ZONING BOARD OF APPEALS MEETING	12/12/24 AND ZBA PEER REVIEW COMMENTS	KML
REVIS PER ZONING BOARD OF APPEALS MEETING	ORIGINAL stamp and/or signature	