

USGS MAP

SCALE: 1" = 1,000'

# BRIDGE STREET LANDING

## PROPOSED COMMERCIAL REDEVELOPMENT

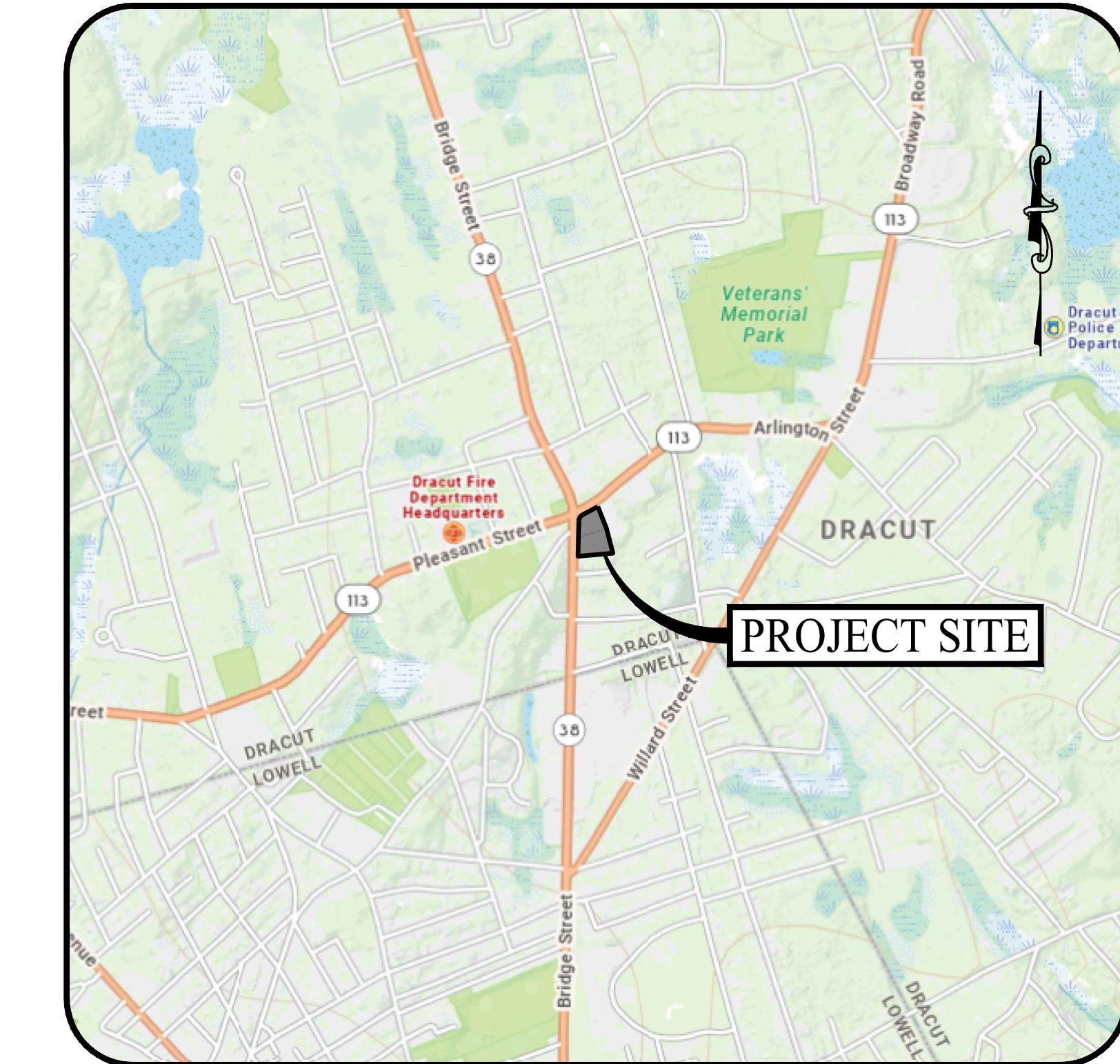
5 ARLINGTON STREET  
DRACUT, MASSACHUSETTS 01826

### PERMITTING PLAN SET

*PREPARED FOR:*

**TWIN COAST  
PROPERTIES, LLC**

59 STILES ROAD SUITE 201  
SALEM, NEW HAMPSHIRE 03079



LOCATION MAP

SCALE: 1" = 1,000'

#### OWNER

CHRIS BAKER / PRESIDENT  
TWIN COAST PROPERTIES, LLC  
59 STILES ROAD, SUITE 201  
SALEM, NEW HAMPSHIRE 03079  
(603) 296-4930

#### SITE / CIVIL ENGINEER

KEVIN SOLLI, P.E., PTOE, CPESC, LEED AP BD+C  
(ENGINEER OF RECORD)  
LICENSE NO. 51952  
SOLLI ENGINEERING, LLC  
11 VANDERBILT AVENUE, SUITE 240  
NORWOOD, MASSACHUSETTS 02062  
(781) 352-8491

#### APPLICANT

CHRIS BAKER / PRESIDENT  
TWIN COAST PROPERTIES, LLC  
59 STILES ROAD, SUITE 201  
SALEM, NEW HAMPSHIRE 03079  
(603) 296-4930

#### LANDSCAPE DESIGNER

MARY BLAKBURN, PLA, CANP  
SOLLI ENGINEERING, LLC  
11 VANDERBILT AVENUE, SUITE 240  
NORWOOD, MASSACHUSETTS 02062  
(781) 352-8491

#### PROPERTY INFORMATION

ADDRESS: 5 ARLINGTON ST  
TOWN OF DRACUT  
MASSACHUSETTS 01826  
PARCEL ID: 50-0-224  
OWNER: CHRIS BAKER / PRESIDENT  
TWIN COAST PROPERTIES, LLC  
DEED: BK 10084 PG 2

#### SURVEYOR OF RECORD

BRIAN C. FRANETOVICH, MA PLS  
LICENSURE NO. 54255  
NORTHEAST SURVEY CONSULTANTS  
3 FERRY STREET STUDIO 1 EAST  
EAST HAMPTON, MASSACHUSETTS 01027  
(413) 203-5144

#### ARCHITECT

KEN BROWN  
DESIGN + INC.  
1400 BARDSTOWN ROAD, SUITE 200  
LOUISVILLE, KENTUCKY 402040  
(502) 454-5011

*PREPARED BY:*



MONROE, CT | WEST HARTFORD, CT | NORWOOD, MA

#### DRAWING LIST

CIVIL PLANS			
SHEET #	SHEET NAME	PLAN DATE	LATEST REVISION
0.00	COVER SHEET	12/09/24	04/02/25
1 of 1	EXISTING CONDITIONS	05/31/23	N/A
1 of 1	APPROVAL NOT REQUIRED	04/12/23	N/A
2.10	OVERALL SITE AREA MAP	12/09/24	N/A
2.11	SITE LAYOUT PLAN	12/09/24	03/27/25
2.21	GRADING & DRAINAGE PLAN	12/09/24	04/02/25
2.22	STORMWATER BASIN PROFILE	03/05/25	04/02/25
2.31	SOIL EROSION & SEDIMENT CONTROL PLAN	12/09/24	N/A
2.41	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	12/09/24	N/A
2.51	SITE UTILITY PLAN	12/09/24	N/A
2.61	LANDSCAPE PLAN	12/09/24	N/A
2.71	LIGHTING PLAN	12/09/24	N/A
3.01	CONSTRUCTION DETAILS	12/09/24	N/A
3.02	CONSTRUCTION DETAILS	12/09/24	03/27/25
3.03	CONSTRUCTION DETAILS	12/09/24	N/A
3.04	CONSTRUCTION DETAILS	12/09/24	03/05/25
3.05	CONSTRUCTION DETAILS	12/09/24	N/A

DRACUT PLANNING BOARD		
3	04/02/25	RIPRAP APRON REV
2	03/27/25	PEER REVIEW RTC
1	03/05/25	SWM PEER REVIEW RTC
Rev. #:	Date	Description

DRACUT PLANNING BOARD		
3	04/02/25	RIPRAP APRON REV
2	03/27/25	PEER REVIEW RTC
1	03/05/25	SWM PEER REVIEW RTC
Rev. #:	Date	Description
Project: BRIDGE STREET LANDING		
5 ARLINGTON STREET		
DRACUT, MASSACHUSETTS		
Sheet Title:	Sheet #:	
COVER SHEET	0.00	



PLANNING BOARD  
DRACUT, MASSACHUSETTS

APPROVAL UNDER THE SUBDIVISION  
CONTROL LAW NOT REQUIRED

DATE: \_\_\_\_\_

RESERVED FOR REGISTRY USE ONLY

THE BOARD'S ENDORSEMENT OF THE  
PLAN AS NOT REQUIRING APPROVAL  
UNDER THE SUBDIVISION CONTROL LAW  
DOES NOT GIVE LOTS OR PARCELS ANY  
STANDING UNDER THE TOWN OF DRACUT  
ZONING BYLAW.

PAVED  
ROAD

ARLINGTON STREET - ROUTE 113  
PUBLIC - 1924 COUNTY LAYOUT & 1978 COUNTY ALTERATION  
R.O.W. WIDTH 50' PAVEMENT WIDTH 33'-38'

PAVED  
ROAD

OHW



#### GENERAL NOTES

1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
2. ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS, AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF DRACUT, MASSACHUSETTS.
3. EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN TITLED "PLAN OF LAND IN DRACUT, MA, 5 ARLINGTON STREET & 1327 BRIDGE STREET," DATED JANUARY 26, 2023, SCALE: 1"-15'; PREPARED BY NORTHEAST SURVEY CONSULTANTS.
- 3.1. THE HORIZONTAL DATUM IS NAD83 (MASS. MAINLAND); THE VERTICAL DATUM IS NAVD88 AND BOTH ARE BASED ON RTK GPS.
- 3.2. TOPOGRAPHIC CONDITIONS OUTSIDE OF THE PROJECT SITE WERE DOWNLOADED AND INTERPOLATED FROM THE LIDAR DATABASE FROM THE NOAA DATA ACCESS VIEWER.
- 3.3. BACKGROUND AERIAL MAPPING DOWNLOADED FROM GOOGLE EARTH PRO.
4. THE PROPOSED PROJECTS ONE (1) PARCEL WITH A TOTAL LAND AREA OF APPROXIMATELY 1.62± ACRES LOCATED WITHIN THE BUSINESS 3 (B-3) ZONING DISTRICT OF THE TOWN OF DRACUT, MA. THE SITE ALSO IS WITHIN THE DRACUT TOWN CENTER NEIGHBORHOOD OVERLAY DISTRICT. RETAIL AND RESTAURANTS ARE PERMITTED AS OF RIGHT WITHIN SAID ZONING DISTRICT. FAST-FOOD USES REQUIRE SPECIAL PERMIT APPROVAL.

#### SIGHT DISTANCE NOTES

1. INTERSECTION SIGHT DISTANCE MEASURED 15 FEET FROM THE SHOULDER LINE.
2. INTERSECTION SIGHT DISTANCE FOR ARLINGTON STREET (ROUTE 113) BASED ON DESIGN SPEED OF 30 MPH (POSTED SPEED LIMIT OF 25 MPH PLUS 5).
3. INTERSECTION SIGHT DISTANCE LOOKING LEFT FROM SITE DRIVEWAY ONTO ARLINGTON STREET (ROUTE 113) EXTENDS THROUGH THE INTERSECTION OF ARLINGTON STREET AND BRIDGE STREET (ROUTE 38). IT IS ANTICIPATED THAT TURNING VEHICLES WILL BE TRAVELING LESS THAN 30 MPH AND ADEQUATE SIGHT DISTANCE WILL BE PROVIDED TO THE INTERSECTION.

#### CERTIFIED ABUTTERS LIST

1. 457 AIKEN AVENUE	RAHIMIAN DAVID
2. 461 AIKEN AVENUE	DESOULZA MARCELO CEZARIO
3. 465 AIKEN AVENUE	ENO KAREN W.
4. 466 AIKEN AVENUE	BELANGER RICHARD (JTRS)
5. 471 AIKEN AVENUE	NIEMASZKÝ SANDRA J., TRUSTEE
6. 482 AIKEN AVENUE	JOHN A. VITALE
7. 33 ARLINGTON AVENUE	CAMPBELL, SHAYNA M.
8. 5 ARLINGTON STREET	TWIN COAST PROPERTIES LLC
9. 10 ARLINGTON STREET	CHRIST CHURCH UNITED
10. 17 ARLINGTON STREET	AYOTTE LLC
11. 21 ARLINGTON STREET	AYOTTE LLC
12. 22 ARLINGTON STREET	FIRST PARISH DRACUT
13. 23 ARLINGTON STREET	AYOTTE LLC
14. 25 ARLINGTON STREET	AYOTTE LLC
15. 28 ARLINGTON STREET	MOSES GREELEY PARKER LIBRARY
16. 39 ARLINGTON STREET	ISAAC PROPERTY INVESTMENTS LLC
17. 1305 BRIDGE STREET	DAVIS TIMOTHY B. & AMBER J., TRUSTEES
18. 1310 BRIDGE STREET	DAVIS FAMILY TRUST
19. 1315 BRIDGE STREET	PAPANOTAS FAMILY, LLC
20. 1346 BRIDGE STREET	BELMORO BRIAN C.
21. 1352 BRIDGE STREET	THE INHABITANTS OF THE TOWN OF DRACUT
22. 1362 BRIDGE STREET	MIRELLA VLAIA M.
23. 1366 BRIDGE STREET	PAUL R. VACHON, JR
24. 15 DELBERT STREET	ESPINOZA SERGIO D. (TE)
25. 11 ELISE AVENUE	NIEMASZKÝ KATHLEEN A
26. 12 ELISE AVENUE	DEVÉAU STEPHEN M. (JT)
27. 16 ELISE AVENUE	FARREN JOHN P. (TE)
28. 17 ELISE AVENUE	HANNIGAN, BRIAN (TE)
29. 18 ELISE AVENUE	SODA, JEFFREY A.
30. 29 ELISE AVENUE	HANNIGAN, BRIAN J. (TE)
31. 23 GRIGGS STREET	Farley, Robert M. (TE)
32. 27 GRIGGS STREET	JONATHAN PALMER
33. 31 GRIGGS STREET	FALCON, JUAN J. (TE)
34. 531 PLEASANT STREET	AYOTTE LLC
35. 538 PLEASANT STREET	NOLAN, JACLYN

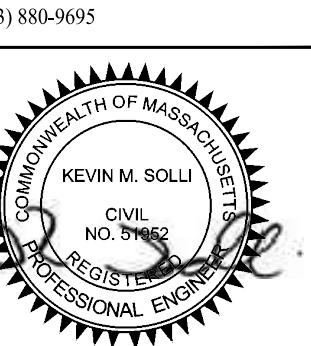
JENNIFER A. ELLIOTT  
DEBORAH MEADOWS  
CENTRE POINT REALTY TRUST  
VALADE, MATTHEW H

SONIA M. MARIN QUINTERO  
KATHRYN KINNEY  
DARLENE M. FARREN  
HANNIGAN, ALLISON  
SCARMINI, MARGARET  
ALLISON J HANNIGAN  
CARMEL A. FARLEY (LE)  
MARIE C FALCON

Rev. #:	Date	Description
Graphic Scale:		
40	0	40
80		

**SOLLI**  
ENGINEERING  
MONROE, CT | W. HARTFORD, CT | NORWOOD, MA  
SOLLINEERING.COM  
T: (203) 880-5455 | F: (203) 880-6995

Drawn By:	STM
Checked By:	CJB
Approved By:	KMS
Project #:	22203701
Plan Date:	12/18/24
Scale:	1" = 40'

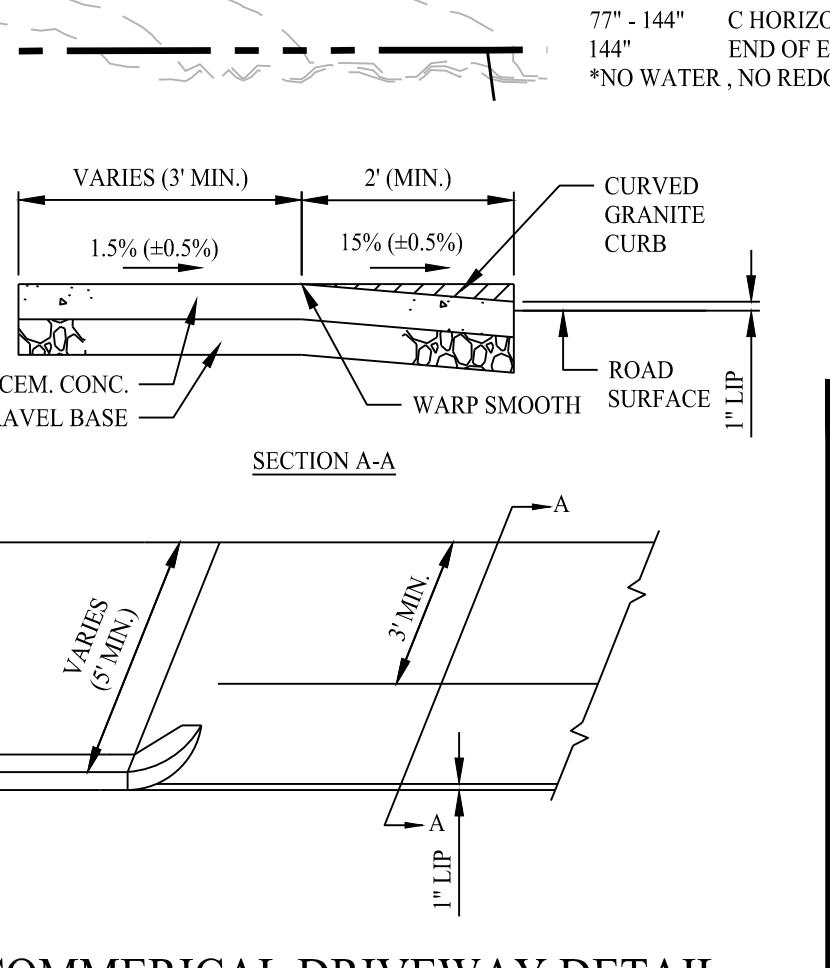
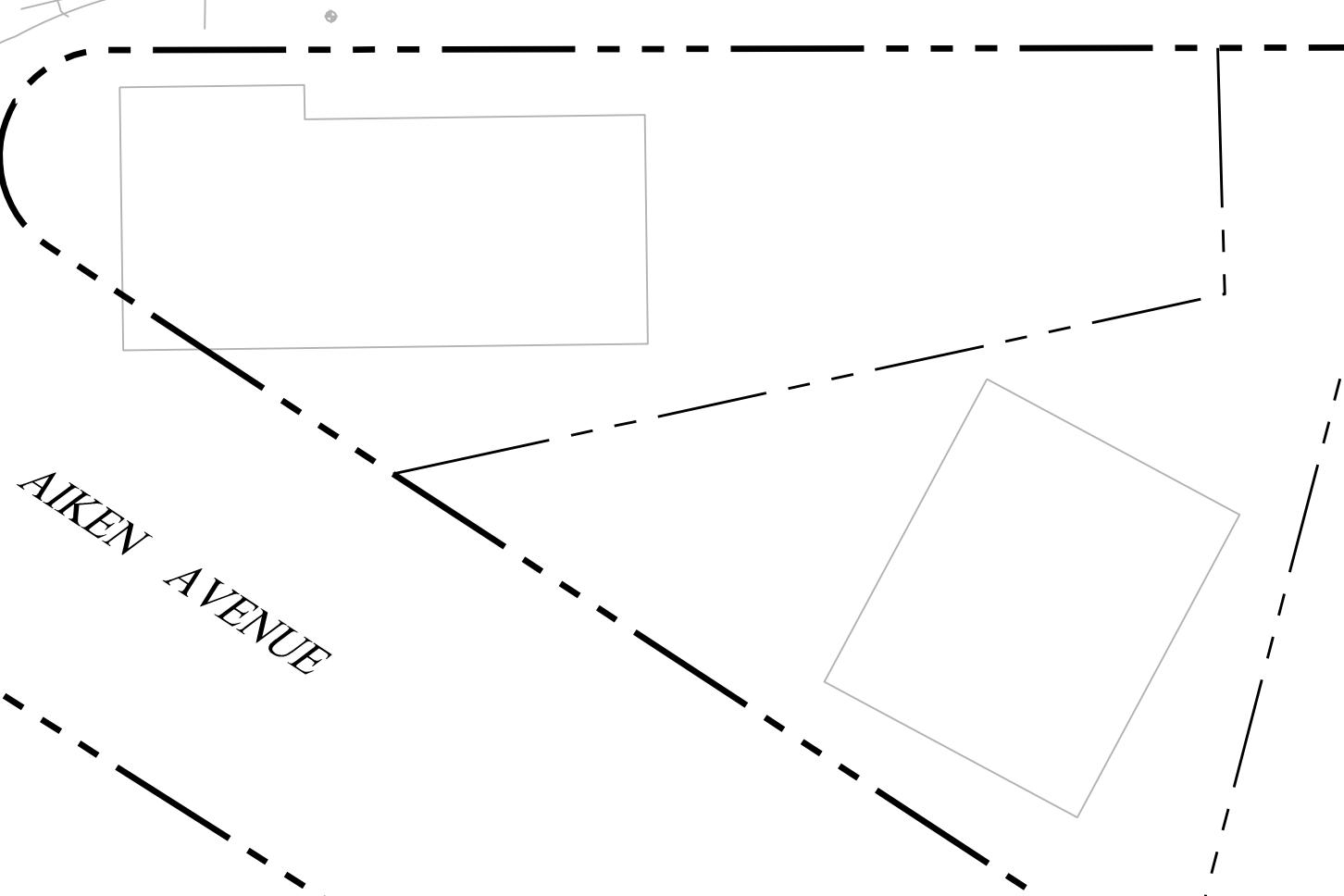
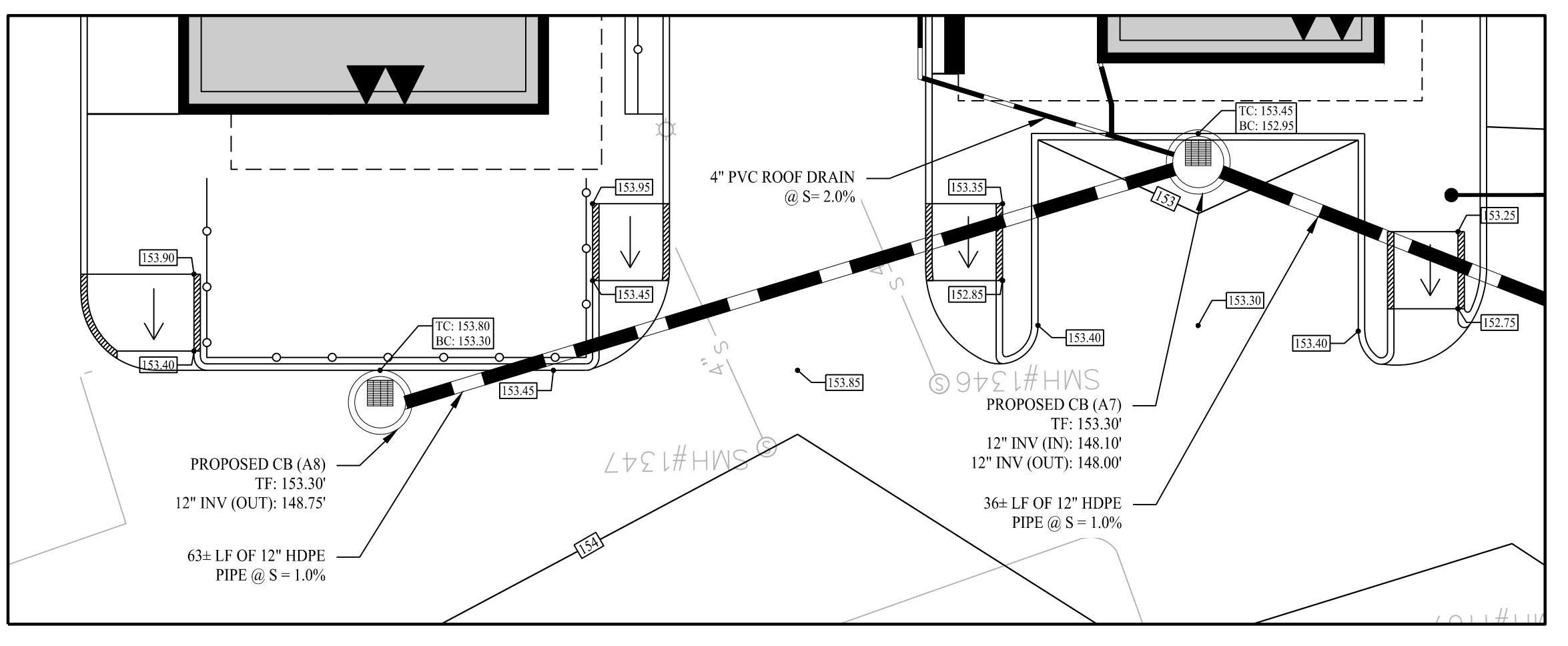
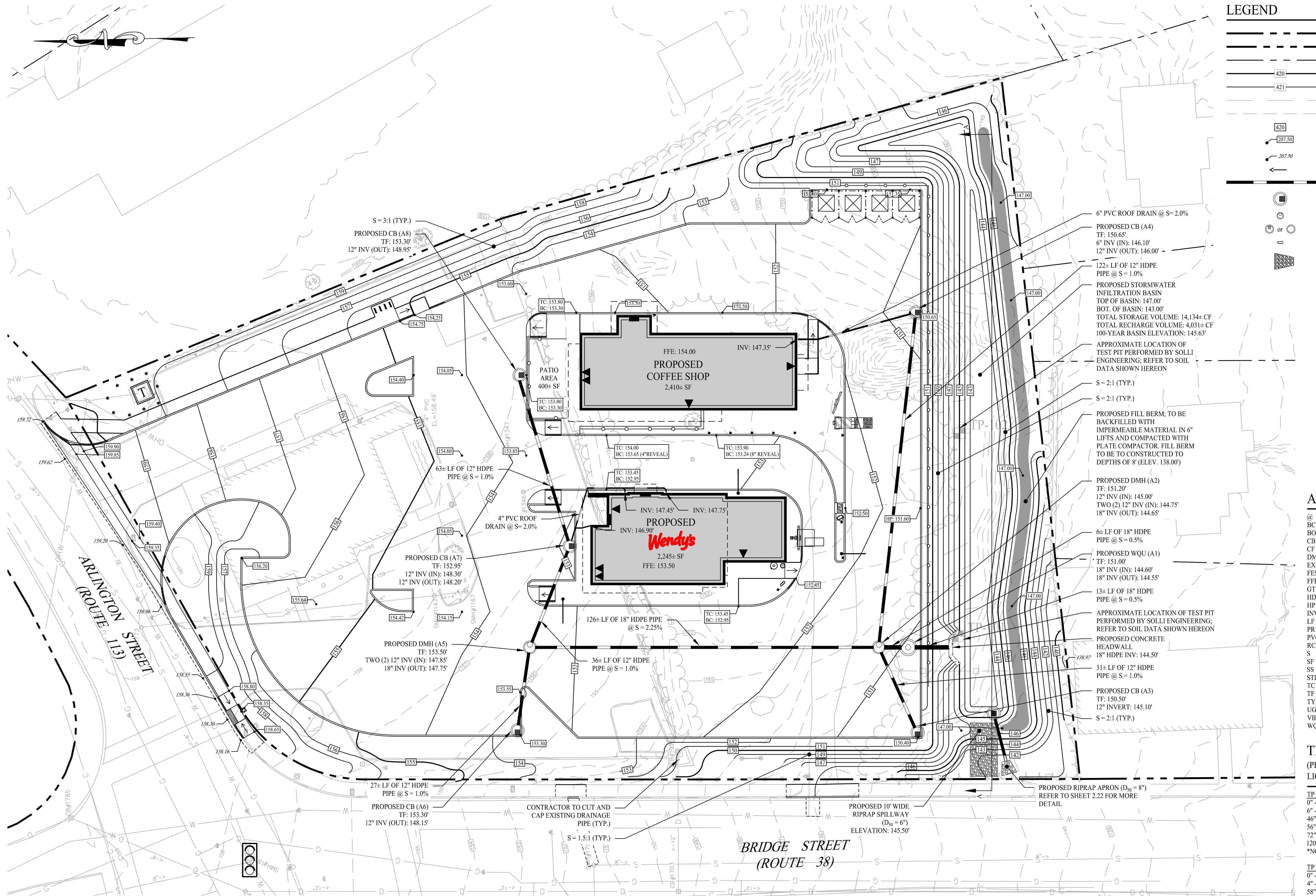


DRACUT PLANNING BOARD	
BRIDGE STREET LANDING 5 ARLINGTON STREET DRACUT, MASSACHUSETTS	

Sheet Title:	OVERALL SITE AREA MAP
Sheet #:	2.10

DRACUT PLANNING BOARD  
DATE: \_\_\_\_\_  
THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE  
PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAWS.





## LEGEND

PROPERTY LINE  
RIGHT-OF-WAY LINE  
ADJOINING LOT LINE  
MAJOR CONTOURS  
MINOR CONTOURS  
EXISTING MAJOR CONTOURS  
EXISTING MINOR CONTOURS  
CONTOUR LABEL  
PR SPOT ELEVATION  
EXISTING SPOT ELEVATION  
GRADE TO DRAIN  
STORM DRAIN PIPE  
PRECAST CATCH BASIN (4-FOOT SUMP)  
STORM MANHOLE  
WATER QUALITY UNIT  
FLARE END SECTION  
RIP RAP

## GENERAL NOTES

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  - 3.1. THE HORIZONTAL DATUM IS NAD83 (MASS. MAINLAND), THE VERTICAL DATUM IS NAVD88 AND BOTH ARE BASED ON RTK GPS OBSERVATION TAKEN ON SITE BY NORTHEAST SURVEY CONSULTANTS.
  - 3.2. TOPOGRAPHIC CONDITIONS OUTSIDE OF THE PROJECT SITE WERE DOWNLOADED AND INTERPOLATED OFF THE LIDAR DATABASE FROM THE NOAA DATA ACCESS VIEWER.
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# GRADING & DRAINAGE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROLS NECESSARY FOR THIS PROJECT.
2. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS BEFORE COMMENCEMENT OR WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
3. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
4. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OF RECORD OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
5. ALL UTILITY WORK PROPOSED WITHIN THE TOWN OF DRACUT RIGHT-OF-WAY SHALL COMPLY WITH TOWN OF DRACUT DPW AND ENGINEERING STANDARDS AND SPECIFICATIONS. PROPOSED UTILITY WORK WILL REQUIRE LANE CLOSURES. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION.
6. ALL DISTURBANCE TO TOWN, COUNTY, OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER.
7. IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
8. ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
9. GRADING CONTRACTOR SHALL RESTORE TO GRADE AND COMPACTION ALL AREAS DISTURBED BY BUILDING CONSTRUCTION PRIOR TO PAVING OPERATIONS COMMENCING.
10. THE PROPOSED STORMWATER MANAGEMENT SYSTEMS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE MASSACHUSETTS STORMWATER HANDBOOK AND STORMWATER STANDARDS.
11. ALL CATCH BASINS ARE TO BE INSTALLED WITH MINIMUM OF 4-FOOT SUMPS.

## ABBREVIATIONS

AT  
BOTTOM OF CURB  
BOTTOM  
CATCH BASIN  
CUBIC FEET  
DRAINAGE MANHOLE  
EXISTING  
FLARED END SECTION  
FINISHED FLOOR ELEVATION  
GRADE TO DRAIN  
HIGH DENSITY POLYETHYLENE  
HIGH POINT  
INVERT  
LINEAR FEET  
PROPOSED  
POLYVINYL CHLORIDE  
REINFORCED CONCRETE PIPE  
SLOPE  
SQUARE FOOT  
SOIL STRUCTURE  
STORM  
TOP OF CURB  
TOP OF FRAME  
TYPICAL  
UNDERGROUND SYSTEM  
VERIFY IN FIELD  
WATER QUALITY UNIT

## TEST PIT

(PERFORMED BY CASEY BURCH MASSDEP CERTIFIED SOIL EVALUATOR  
LICENSE NO. 14409 WITH SOIL ENGINEERING IN OCTOBER 2023)

Rev. #:	Date	Description
3	04/02/25	RIPRAP APRON REV
2	03/27/25	PEER REVIEW RTC
1	03/05/25	SWM PEER REVIEW RTC
Graphic Scale:		
20	0	20
40		

The logo for Solli Engineering. It features a large, stylized 'S' icon on the left, composed of a black left side and a grey right side. To the right of the 'S' is the word 'SOLLI' in a large, bold, black serif font. Below 'SOLLI' is the word 'ENGINEERING' in a smaller, bold, black serif font. At the bottom of the logo, the company's locations are listed: 'MONROE, CT | W. HARTFORD, CT | NORWOOD, MA' in a black sans-serif font. Below that, the website 'SOLLIENGINEERING.COM' is listed in a black sans-serif font. At the bottom, the phone number 'T: (203) 880-5455 | F: (203) 880-9695' is listed in a black sans-serif font.

Drawn By: PDS  
Checked By: CJB  
Approved By: KMS  
Project #: 22203701  
Plan Date: 12/18/24

Scale: 1" = 20' MA 51952

Project: **BRIDGE STREET  
LANDING**

**5 ARLINGTON STREET  
DRACUT, MASSACHUSETTS**

Sheet Title:	Sheet #:
<b>GRADING &amp; DRAINAGE PLAN</b>	<b>2.21</b>

## GENERAL NOTES

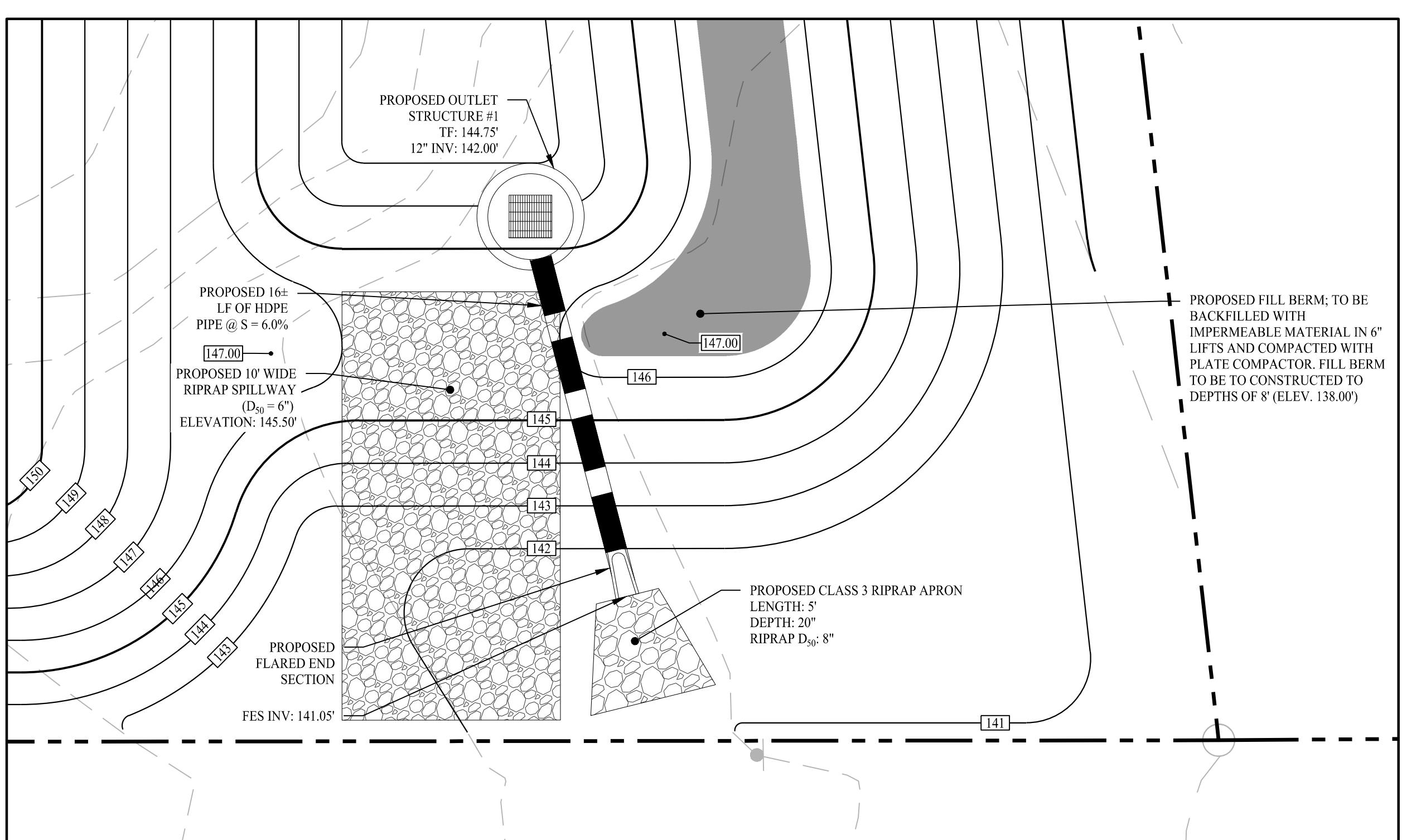
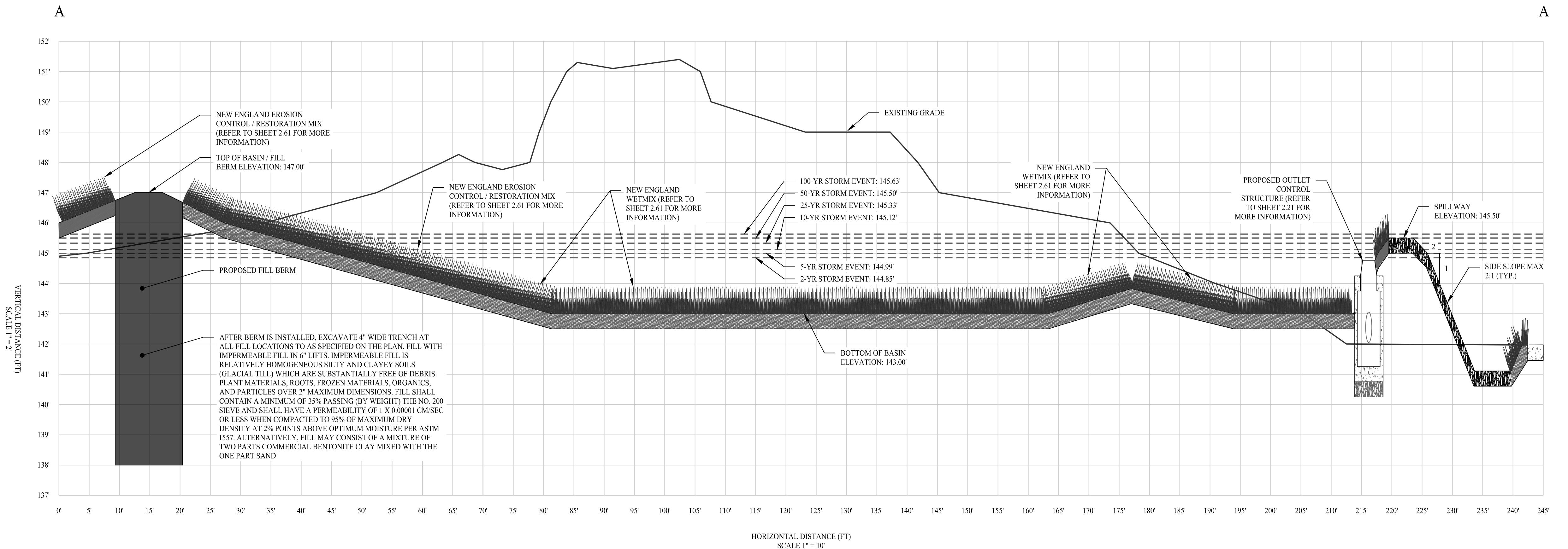
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3. EXISTING CONDITIONS ARE NOT BEING SHOWN IN A PLAN. A PLAN TITLED "PLAN OF LAND IN DRACUT, MA, 5 ARLETON STREET, BRIDGE STREET" DATED JANUARY 26, 2023, SCALE: 1:15', PREPARED BY NORTHEAST SURVEY CONSULTANTS.
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- 3.2. TOPOGRAPHIC CONDITIONS OUTSIDE OF THE PROJECT SITE WERE DOWNLOADED AND INTERPOLATED OFF THE LIDAR DATABASE FROM THE NOAA DATA ACCESS VIEWER.
4. THE PROJECT SITE CONSISTS OF ONE (1) PARCEL WITH A TOTAL LAND AREA OF APPROXIMATELY 1.62± ACRES LOCATED WITHIN THE BUSINESS 3 (B-3) ZONING DISTRICT OF THE TOWN OF DRACUT, MA. THE SITE ALSO IS WITHIN THE DRACUT TOWN CENTER NEIGHBORHOOD OVERLAY DISTRICT. RETAIL AND RESTAURANTS ARE PERMITTED AS OF RIGHT WITHIN SAID ZONING DISTRICT. FAST-FOOD USES REQUIRE SPECIAL PERMIT APPROVAL.

## GRADING & DRAINAGE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POSSESS AND MAINTAIN ALL THE NECESSARY PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROLS NECESSARY FOR THIS PROJECT.
2. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICE LINES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS BEFORE COMMENCEMENT OR WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
3. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
4. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OF RECORD OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
5. ALL UTILITY WORK PROPOSED WITHIN THE TOWN OF DRACUT RIGHT-OF-WAY SHALL COMPLY WITH TOWN OF DRACUT DPW AND ENGINEERING STANDARDS AND SPECIFICATIONS. PROPOSED UTILITY WORK WILL REQUIRE LANE CLOSURES. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION.
6. ALL DISTURBANCE TO TOWN, COUNTY, OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE REPAID TO THE OWNER OR STATE PROPERTY OWNER FOR BETTER.
7. IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
8. ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
9. GRADING CONTRACTOR SHALL RESTORE TO GRADE AND COMPACTION ALL AREAS DISTURBED BY BUILDING CONSTRUCTION PRIOR TO PAVING OPERATIONS COMMENCING.
10. THE PROPOSED STORMWATER MANAGEMENT SYSTEMS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE MASSACHUSETTS STORMWATER HANDBOOK AND STORMWATER STANDARDS.
11. ALL CATCH BASINS ARE TO BE INSTALLED WITH MINIMUM OF 4-FOOT SUMPS.

## INFILTRATION BASIN NOTES

1. CONTRACTOR TO OVER-EXCAVATE THE PROPOSED INFILTRATION BASIN AND REMOVE ALL EXISTING FILL MATERIAL AND SANDY LOAM LAYERS AT THE DIRECTION OF THE ON-SITE CIVIL ENGINEER (VARYING DEPTHS). CONTRACTOR TO PLACE CLEAN SOILS WITHIN THE BOTTOM OF THE INFILTRATION BASIN WITH AN EXFILTRATION RATE OF 2.41 INCHES / HOUR. LABORATORY OR ON-SITE TESTING TO BE CONDUCTED TO CONFIRM RATE.
2. EXPOSED SOIL SURFACE SHALL NOT BE TRAFFICKED WITH CONSTRUCTION EQUIPMENT. EXCAVATIONS SHALL BE PERFORMED WITH EQUIPMENT POSITIONED OUTSIDE OF THE INFILTRATION SYSTEM.
3. DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.



## RIPRAP APRON CALCULATIONS

THE PROPOSED RIPRAP APRON HAS BEEN DESIGNED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION HYDRAULIC DESIGN OF ENERGY DISSIPATORS FOR CULVERTS AND CHANNELS.

$$D_{90} = 0.2D(Q/g)^{1/2}D^{1/3}g^{1/2}/(D/TW)$$

D90 = RIPRAP SIZE (FT)

D = CULVERT SIZE (FT)

Q = DESIGN DISCHARGE (CFS) (100-YEAR STORM EVENT)

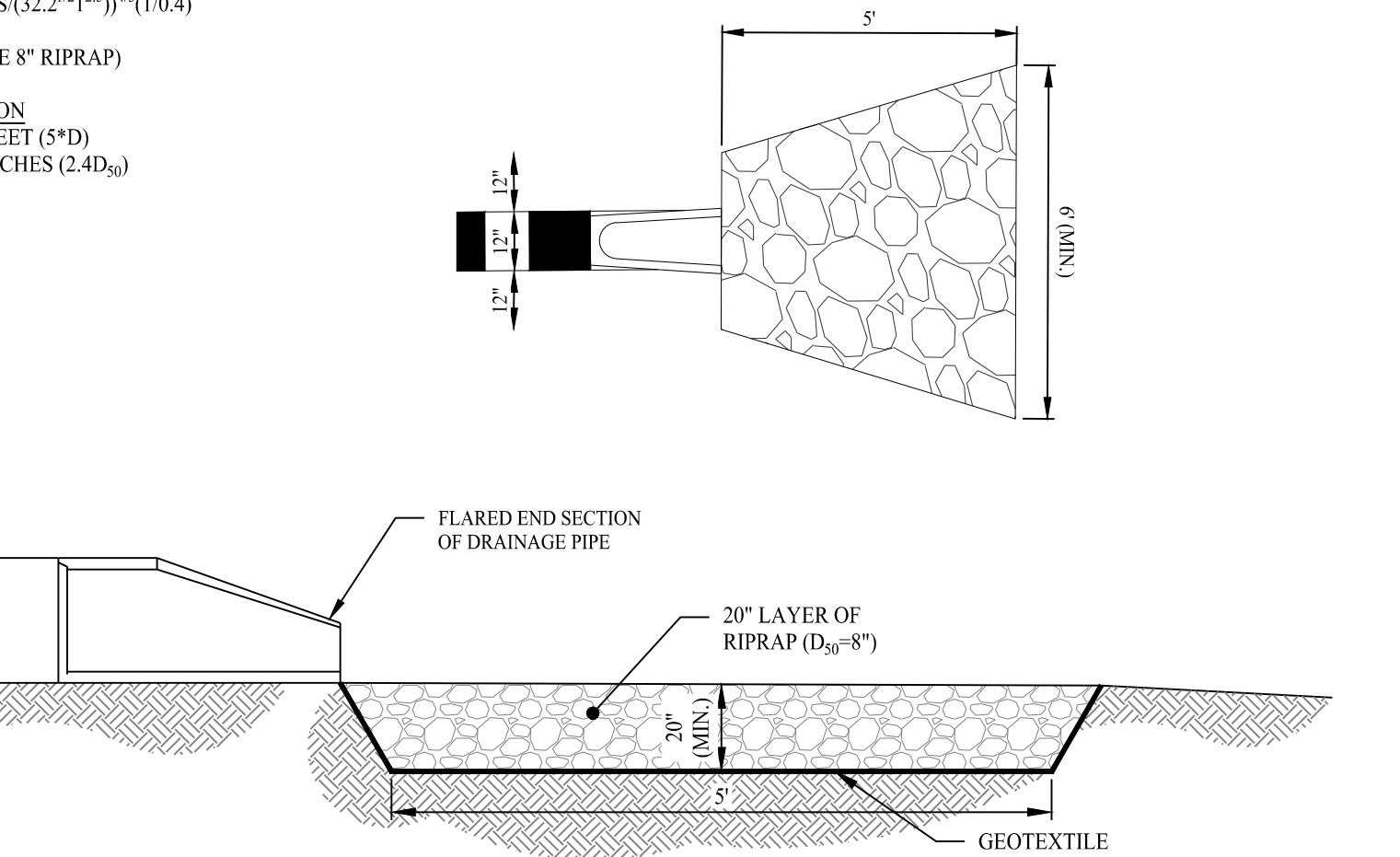
g = ACCELERATION DUE TO GRAVITY (32.2 FT / S<sup>2</sup>)

TW = TAILWATER DEPTH (ASSUME 0.4D)

$$D_{90} = 0.2(1\text{ FT})6.40\text{ CFS}((32.2)^{1/2}5')^{1/3}/(1.0/0.4)$$

$$D_{90} = 0.587\text{ FT UTILIZE 8" RIPRAP}$$

CLASS 3 RIPRAP APRON  
APRON LENGTH - 5 FEET (5\*D)  
APRON DEPTH - 20 INCHES (2.4D90)



RIPRAP APRON DETAIL WITH FLARED END

2	04/02/25	RIPRAP APRON REV
1	03/27/25	PEER REVIEW RTC
Rev. #:	Date	Description
Graphic Scale:		

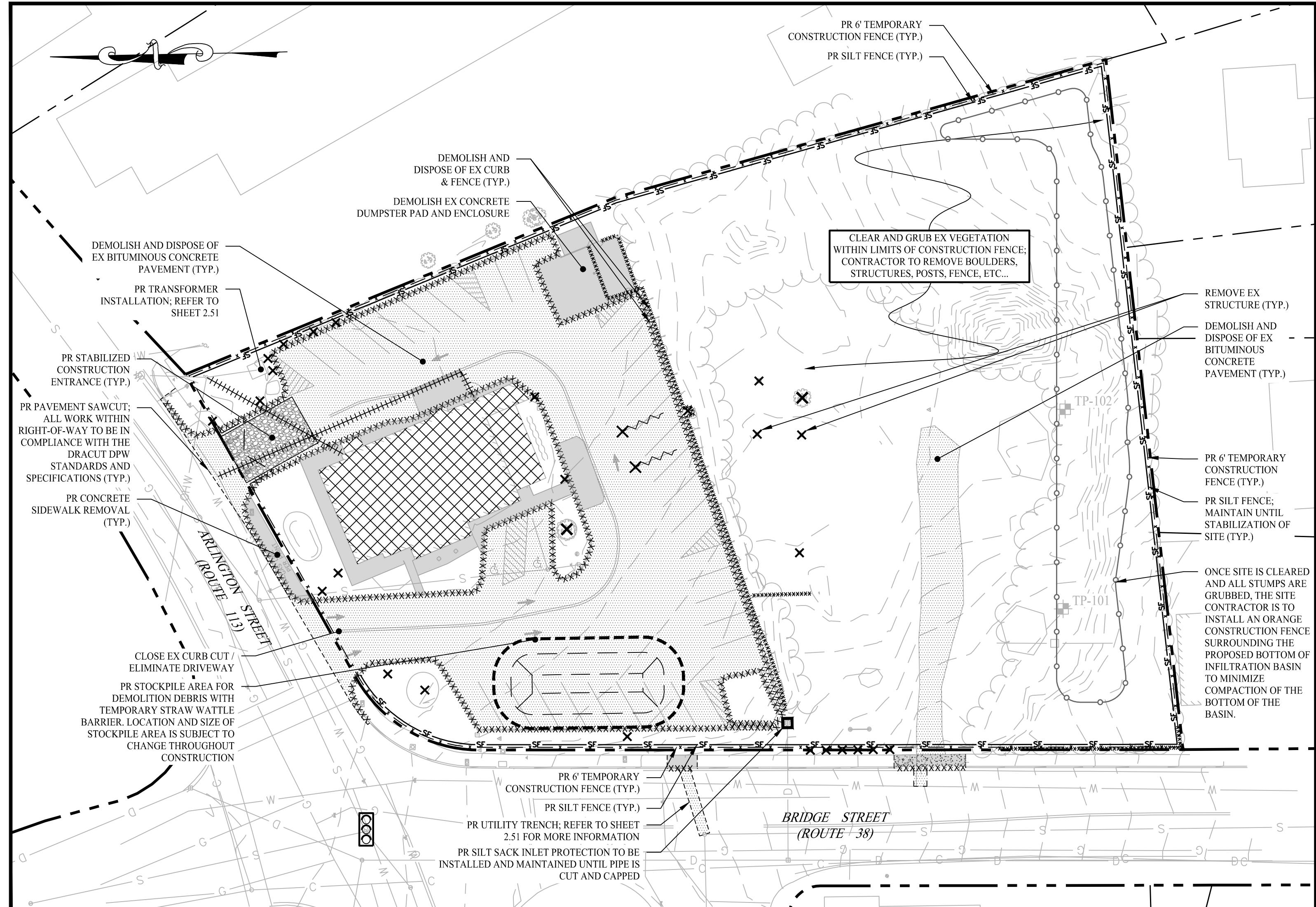
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MONROE, CT | W. HARTFORD, CT | NORWOOD, MA  
SOLLINEERING.COM  
T: (203) 880-5455 | F: (203) 880-6995

Drawn By: OSK  
Checked By: CJB  
Approved By: KMS  
Project #: 22203701  
Plan Date: 03/05/25  
Scale: 1" = 5'  
Kevin Solli, P.E.  
MA 51952

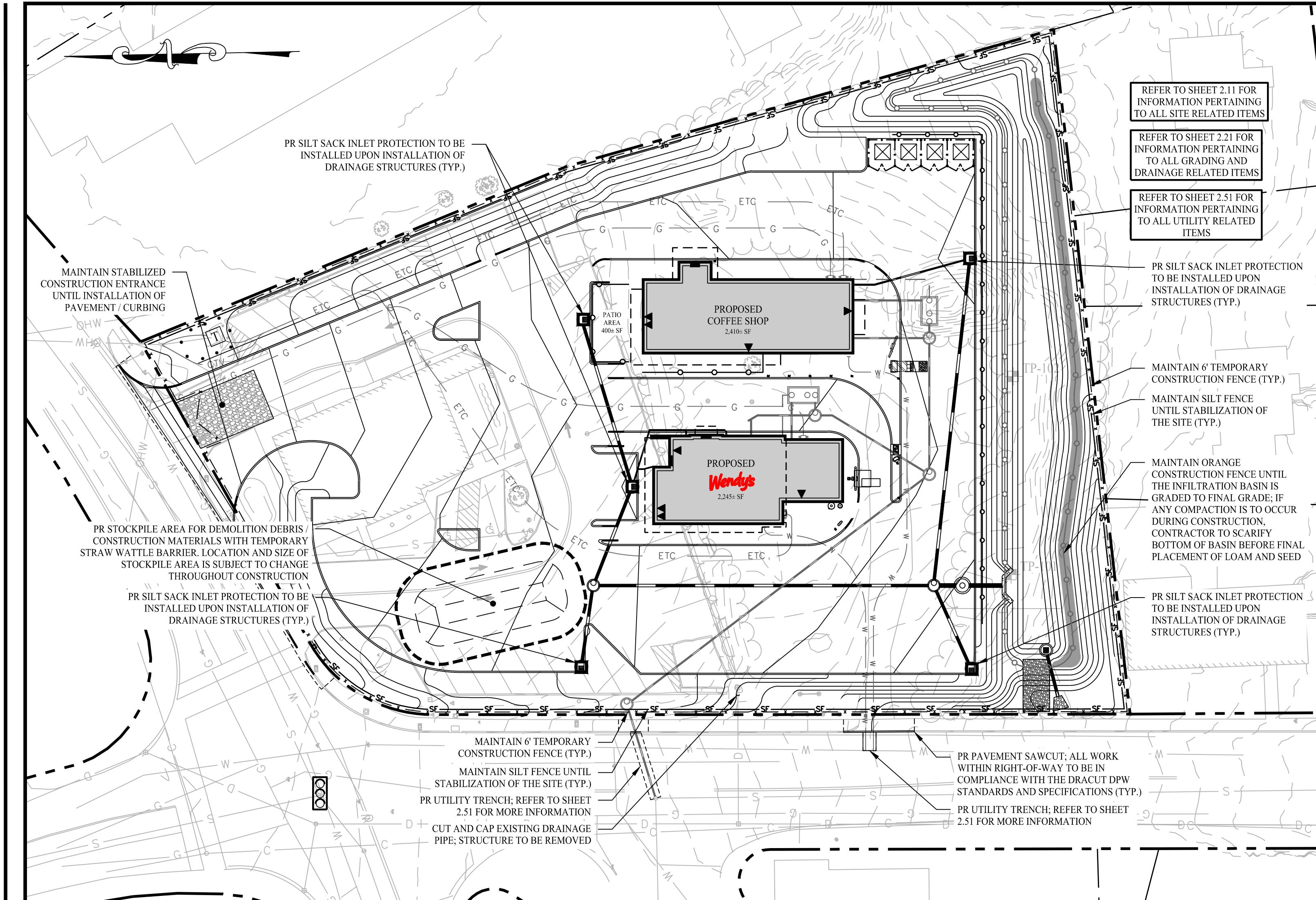
Project: **BRIDGE STREET LANDING**  
5 ARLETON STREET  
DRACUT, MASSACHUSETTS

Sheet Title: STORMWATER BASIN PROFILE	Sheet #: 2.22
DATE: _____	
THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAWS.	



PHASE I - DEMOLITION & SOIL EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"



PHASE II - SOIL EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 30'

## GENERAL NOTES

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  - 3.1. THE HORIZONTAL DATUM IS NAD83 (MASS. MAINLAND), THE VERTICAL DATUM IS NAVD88 AND BOTH ARE BASED ON RTK GPS OBSERVATION TAKEN ON SITE BY NORTHEAST SURVEY CONSULTANTS.
  - 3.2. TOPOGRAPHIC CONDITIONS OUTSIDE OF THE PROJECT SITE WERE DOWNLOADED AND INTERPOLATED OFF THE LIDAR DATABASE FROM THE NOAA DATA ACCESS VIEWER.
4. THE PROJECT SITE CONSISTS OF ONE (1) PARCEL WITH A TOTAL LAND AREA OF APPROXIMATELY 1.62± ACRES LOCATED WITHIN THE BUSINESS 3 (B-3) ZONING DISTRICT OF THE TOWN OF DRACUT, MA. THE SITE ALSO IS WITHIN THE DRACUT TOWN CENTER NEIGHBORHOOD OVERLAY DISTRICT. RETAIL AND RESTAURANTS ARE PERMITTED AS OF RIGHT WITHIN SAID ZONING DISTRICT. FAST-FOOD USES REQUIRE SPECIAL PERMIT APPROVAL.
5. REFER TO SHEET 2.41 FOR SOIL EROSION NOTES AND DETAILS.

## INFILTRATION BASIN NOTES

1. CONTRACTOR TO OVER-EXCAVATE THE PROPOSED INFILTRATION BASIN AND REMOVE ALL EXISTING FILL MATERIAL AND SANDY LOAM LAYERS AT THE DIRECTION OF THE ON-SITE CIVIL ENGINEER (VARYING DEPTHS). CONTRACTOR TO PLACE CLEAN SOILS WITHIN THE BOTTOM OF THE INFILTRATION BASIN WITH AN EXFILTRATION RATE OF 2.41 INCHES / HOUR. LABORATORY OR ON-SITE TESTING TO BE CONDUCTED TO CONFIRM RATES.
2. EXPOSED SOIL SURFACE SHALL NOT BE TRAFFICKED WITH CONSTRUCTION EQUIPMENT. EXCAVATIONS SHALL BE PERFORMED WITH EQUIPMENT POSITIONED OUTSIDE OF THE INFILTRATION SYSTEM.
3. DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

## CONSTRUCTION SEQUENCE (PHASE 1)

## • PHASE I

- 1.1. ENSURE ALL BONDING / FEES / ZONING PERMITS ARE PAID AND APPROVED BY TOWN OF DRACUT PRIOR TO CONSTRUCTION.
- 1.2. INSTALL CONSTRUCTION FENCE AND STABILIZED CONSTRUCTION ENTRANCE / EXIT.
- 1.3. INSTALL SILT FENCE / SEC MEASURES AS PROPOSED (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SEC MEASURES).
- 1.4. PREPARE TEMPORARY PARKING AND STORAGE AREAS.
- 1.5. INSTALL SILT SACK INLET PROTECTION ON ALL EXISTING DRAINAGE STRUCTURES WITHIN THE PROJECT SITE AND WITHIN PROXIMITY OF THE SITE.
- 1.6. HALT ALL ACTIVITIES AND CONTACT THE ENGINEER OF RECORD / TOWN OF DRACUT LAND USE AGENT TO PERFORM INSPECTION AND CERTIFICATION OF BEST MANAGEMENT PRACTICES (BMP'S). GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT THE STORM WATER PRE-CONSTRUCTION MEETING WITH THE ENGINEER OF RECORD, TOWN AGENCIES, AND GROUND-DISTURBING CONTRACTOR BEFORE PROCEED WITH CONSTRUCTION.
- 1.7. PERFORM PAVEMENT SAWCUTS.
- 1.8. DEMOLISH AND REMOVE EXISTING STRUCTURES / FOUNDATIONS.
- 1.9. REMOVE ALL EXISTING CURBING, BITUMINOUS CONCRETE PAVEMENT, CONCRETE PADS, AND FENCING.
- 1.10. BEGIN CLEARING AND GRUBBING THE SITE.
- 1.11. ESTABLISH MATERIAL STOCKPILE AREA AND INSTALL SEC BARRIER SURROUNDING PILE.
- 1.12. BEGIN ROUGH GRADING OF THE SITE.

## CONSTRUCTION SEQUENCE (PHASE II)

---

## 1. PHASE II:

- 1.1. INSTALL STORMWATER INFILTRATION BASIN.
- 1.2. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
- 1.3. INSTALL PROPOSED STORM DRAINAGE SYSTEM AND STRUCTURES (SEE SHEET 2.21).
- 1.4. UPON INSTALLATION OF DRAINAGE STRUCTURES INLET PROTECTIONS TO BE INSTALLED.
- 1.5. INSTALL UTILITIES AS SHOWN ON SHEET 2.51.
- 1.6. START CONSTRUCTION OF BUILDING PAD, PARKING AREAS, AND STRUCTURES.
- 1.7. INSTALL CURBS.
- 1.8. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
- 1.9. PREPARE SITE FOR FINAL GRADING.
- 1.10. CONSTRUCT CONCRETE PADS AND SIDEWALKS.
- 1.11. INSTALL APPROPRIATE INLET PROTECTIONS PRIOR TO PAVING.
- 1.12. PAVE AREAS SHOWN ON SITE LAYOUT PLAN, SEE SHEET 2.11.
- 1.13. CONTRACTOR / CONSTRUCTION MANAGER TO COORDINATE WITH ENGINEER OF RECORD TO OBTAIN STABILIZED SITE STATUS.
- 1.14. CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION REPORT IS SIGNED BY THE CONSTRUCTION MANAGER AND SUBMITTED.



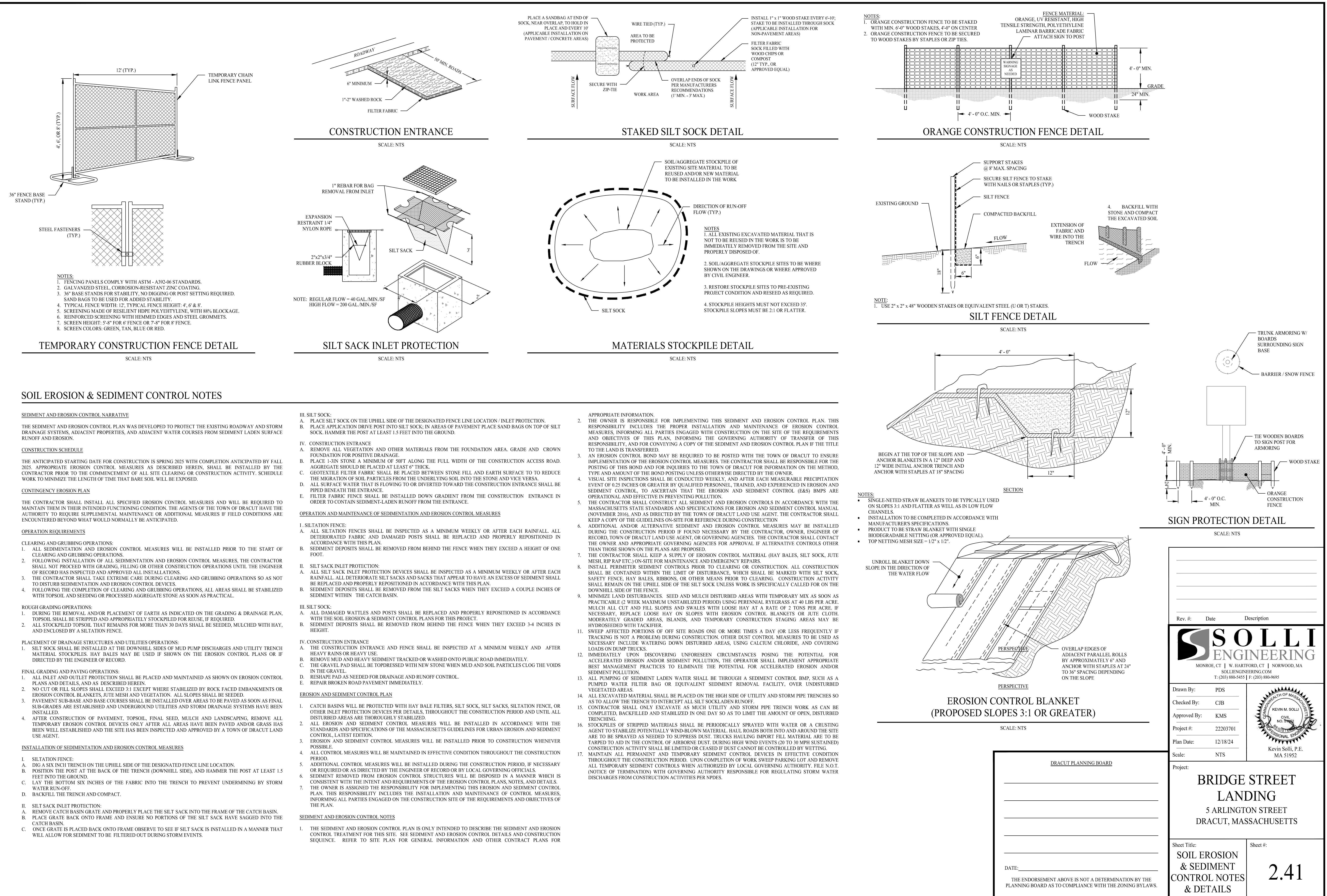
# SOLLI ENGINEERING

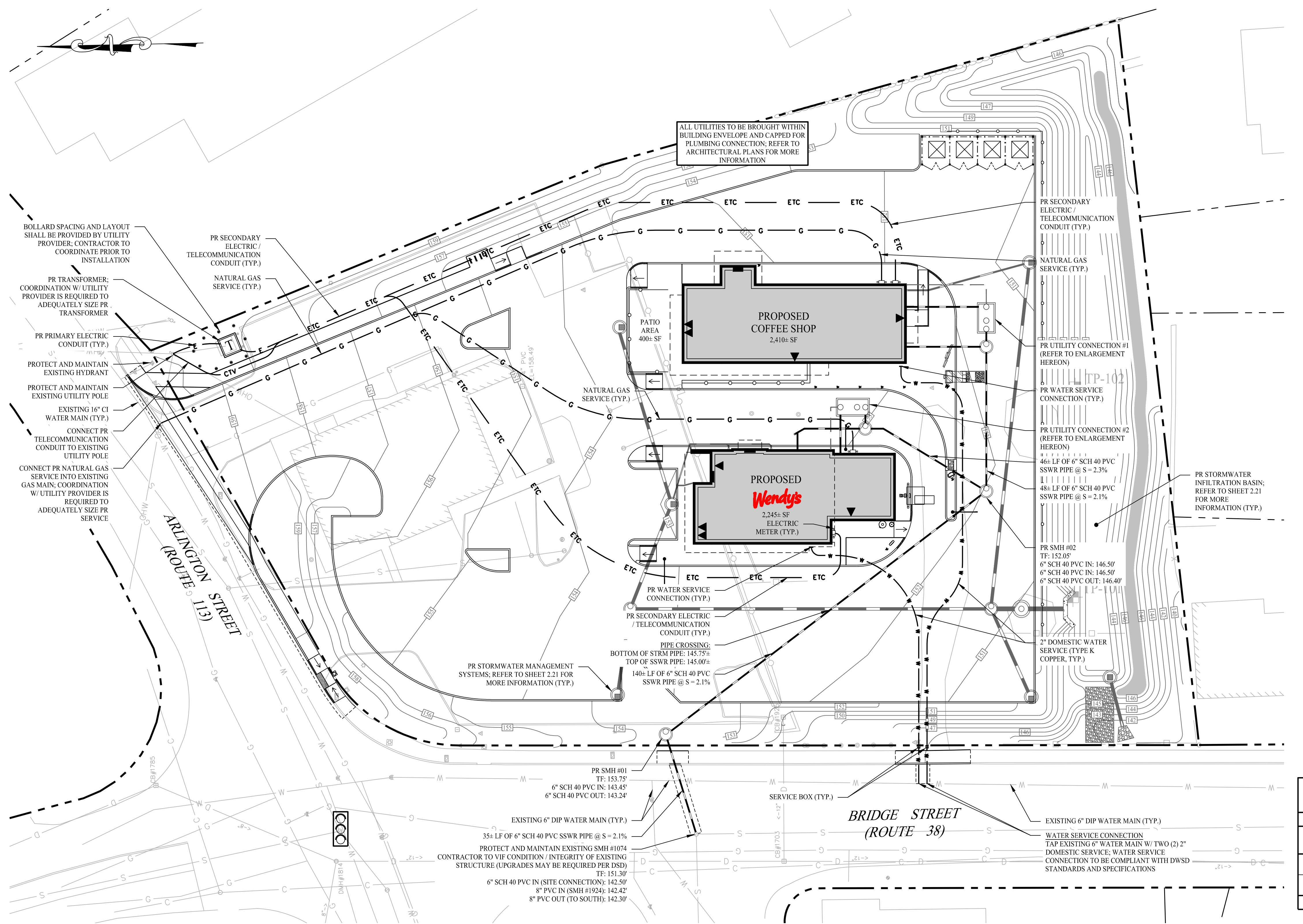
Drawn By:	PDS
Checked By:	CJB
Approved By:	KMS
Project #:	22203701
Plan Date:	12/18/24
Scale:	1" = 30'

KEVIN M. SOLLI  
CIVIL  
NO. 51952  
REGISTERED  
PROFESSIONAL ENGINEER

Project: **BRIDGE STREET  
LANDING**  
5 ARLINGTON STREET  
DRAUGT, MASSACHUSETTS

Sheet Title:	Sheet #:
<b>SOIL EROSION &amp; SEDIMENT CONTROL PLAN</b>	<b>2.31</b>





## UTILITY CONTACTS

WATER  
MICHAEL SHEU / SUPERINTENDENT  
DRACUT WATER SUPPLY DISTRICT  
59 HOPKIN STREET  
DRACUT, MASSACHUSETTS 01826  
(978) 957-0441

SEWER  
MARGUERITE HOOVER / SUPERINTENDENT  
TOWN OF DRACUT SEWER DEPARTMENT  
TOWN HALL  
62 ARLINGTON STREET  
DRACUT, MASSACHUSETTS 01826  
(978) 957-0371

ELECTRIC  
NATIONAL GRID ELECTRIC  
40 SYLVAN ROAD  
WALTHAM, MASSACHUSETTS 02451  
(781) 296-6483

GAS  
NATIONAL GRID GAS  
40 SYLVAN ROAD  
WALTHAM, MASSACHUSETTS 02451  
(781) 907-2845

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## UTILITY NOTES

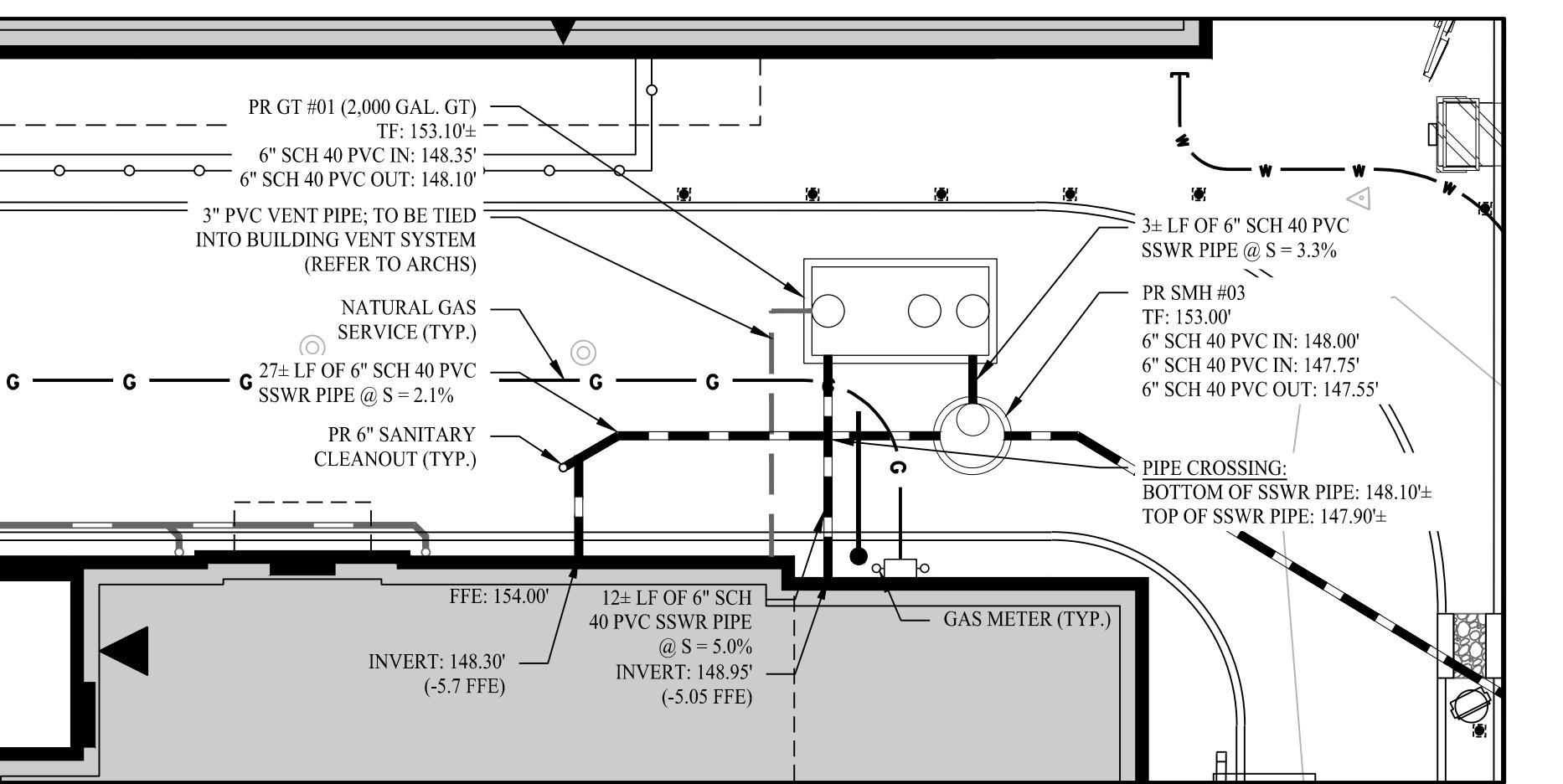
1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROLS NECESSARY FOR THIS PROJECT.
2. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS BEFORE COMMENCEMENT OR WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
3. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
4. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OF RECORD OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
5. ALL UTILITY WORK PROPOSED WITHIN THE TOWN OF DRACUT RIGHT-OF-WAY SHALL COMPLY WITH TOWN OF DRACUT DPW AND ENGINEERING STANDARDS AND SPECIFICATIONS. PROPOSED UTILITY WORK WILL REQUIRE LANE CLOSURES. COORDINATION WITH THE ENGINEER OF RECORD WILL BE NEEDED FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLANS.
6. ALL DISTURBANCE TO CITY, COUNTY, OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER.
7. IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
8. ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
9. ALL WORK ASSOCIATED WITH THE INSTALLATION OF THE WATER SERVICE SHALL BE IN COMPLIANCE WITH THE DRACUT WATER SUPPLY DISTRICT STANDARDS AND SPECIFICATIONS.
10. ALL WORK ASSOCIATED WITH THE INSTALLATION OF THE SEWER SERVICE SHALL BE IN COMPLIANCE WITH THE TOWN OF DRACUT SEWER DEPARTMENT STANDARDS AND SPECIFICATIONS.
11. ALL WORK ASSOCIATED WITH THE INSTALLATION OF THE ELECTRIC SERVICE SHALL BE IN COMPLIANCE WITH NATIONAL GRID STANDARDS AND SPECIFICATIONS.
12. ALL WORK ASSOCIATED WITH THE INSTALLATION OF THE GAS SERVICE SHALL BE IN COMPLIANCE WITH NATIONAL GRID STANDARDS AND SPECIFICATIONS.
13. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES 72 HOURS PRIOR TO BEGINNING OF EXCAVATION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TAP AND TIE-IN FEES REQUIRED BY UTILITY PROVIDERS.

## UTILITY NOTES

PROPOSED CONDITIONS			
BUILDING USE	GFA / SEATS	MASSDEP TITLE 5 DESIGN FLOW RATE	PROPOSED DESIGN FLOW
PROPOSED WENDY'S	2,245± SF / 60 SEATS	RESTAURANT (FAST-FOOD): 20 GPD / SEAT	1,200 GPD
PROPOSED COFFEE SHOP	2,410± SF / 62 SEATS	RESTAURANT (FAST-FOOD): 20 GPD / SEAT	1,240 GPD
TOTAL PROPOSED DESIGN FLOW			2,440 GPD

## LEGEND

— — — — —	PROPERTY LINE
— — — — —	RIGHT-OF-WAY LINE
— — — — —	ADJOINING LOT LINE
W W W	WATER MAIN / LATERAL
C G G	GAS LINE
E E E	ELECTRIC CONDUIT
CTV	CABLE & TELEPHONE CONDUIT
ETC	UNDERGROUND ELECTRIC, TELEPHONE AND CABLE LINES
— — — — —	SANITARY SEWER PIPE
	GREASE TRAP
	SANITARY SEWER MANHOLE
	WATER SERVICE BOX
	GAS METER
	ELECTRIC METER
	ELECTRIC TRANSFORMER

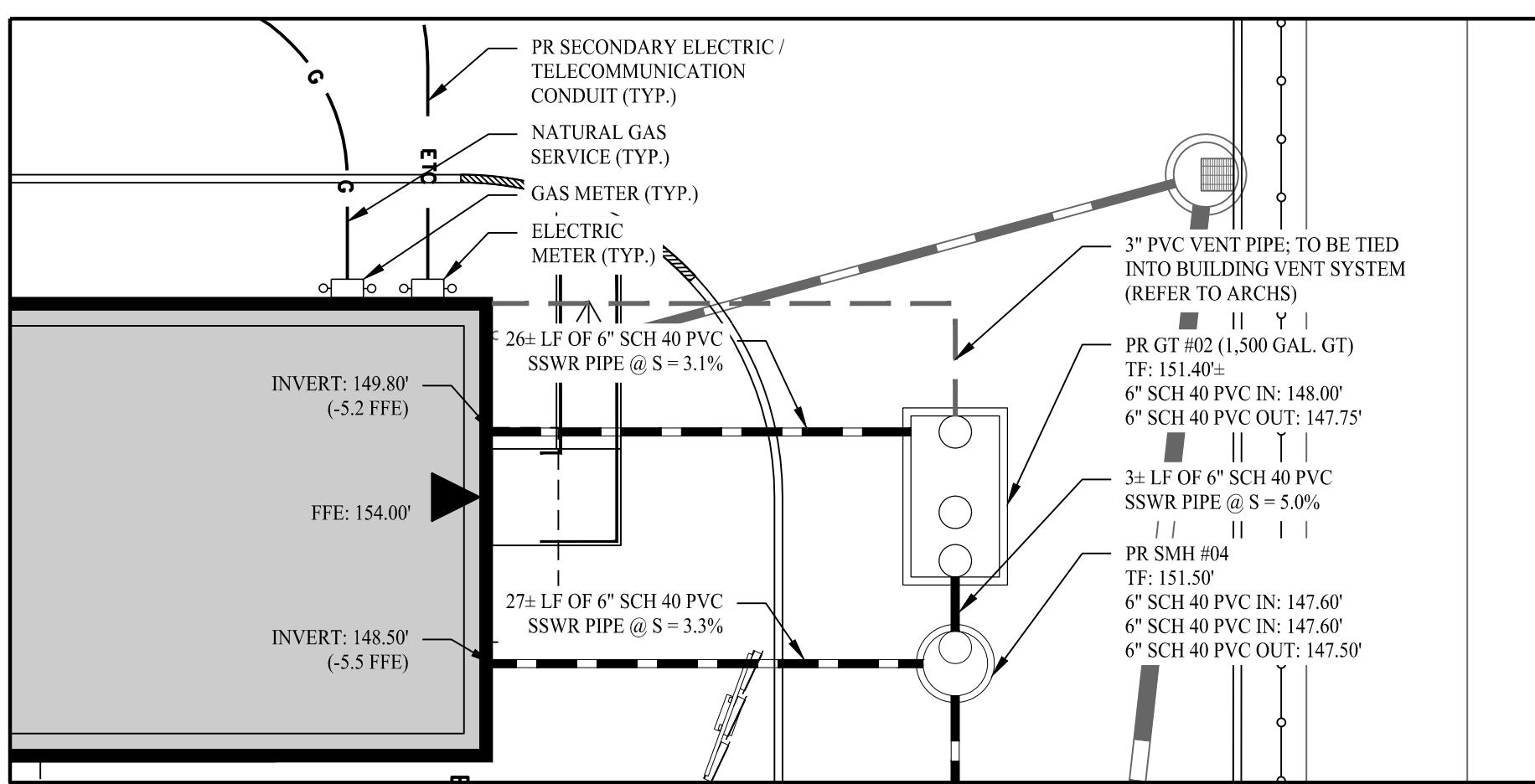


## UTILITY CONNECTION #1

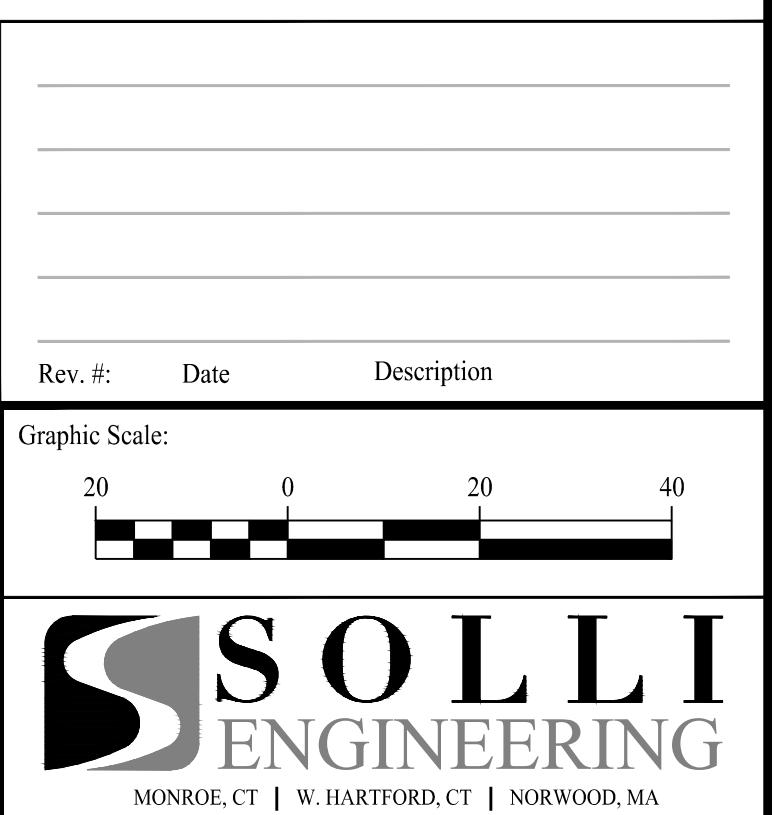
SCALE: 1" = 1

## UTILITY CONNECTION #2

SCALE: 1" = 10'



Apr 02, 2025 - 11:35am Sam  
M:\SE Files\Project Data\2022\22203701 - 5 Arlington St - Dracut, MA\cadd Data\22203701-2.51.dwg



Drawn By:	PDS
Checked By:	CJB
Approved By:	KMS
Project #:	22203701
Plan Date:	12/18/24
Scale:	1" = 20'



Kevin Solli, P.E.  
MA 51952

# BRIDGE STREET LANDING

LANDING  
5 ARLINGTON STREET  
BRAZIL, MASSACHUSETTS

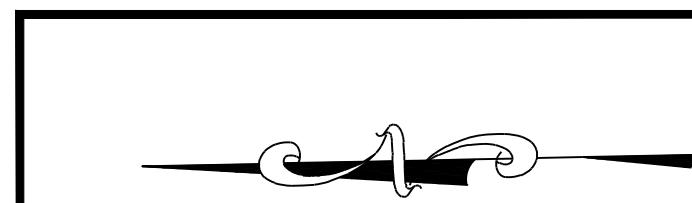
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Project Title:

**SITE  
UTILITY  
PLAN**

2.51





### Specifications

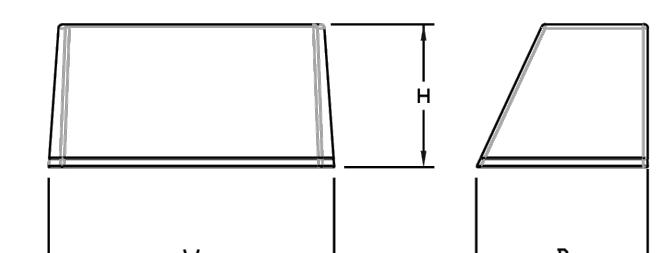
#### Luminaire

Height: 8-1/2" (21.59 cm)

Width: 17" (43.18 cm)

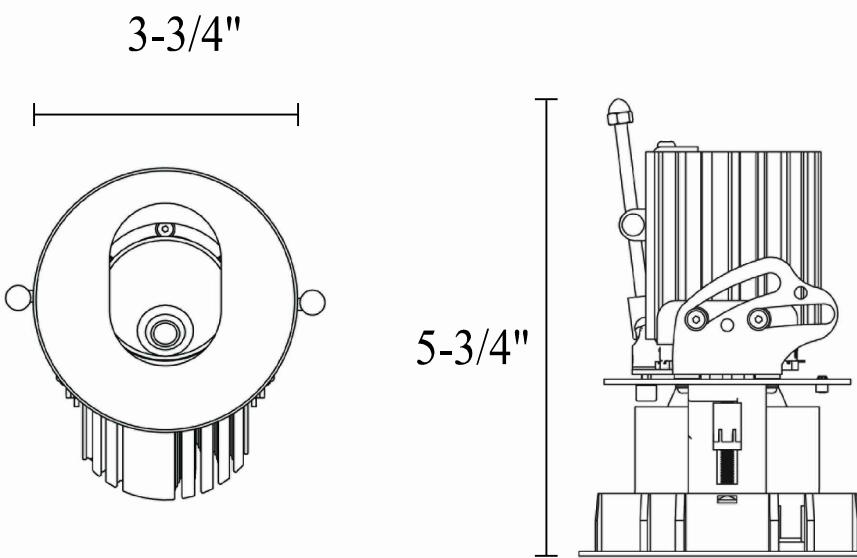
Depth: 10-3/16" (25.9 cm)

Weight: 20 lbs (9.1 kg)



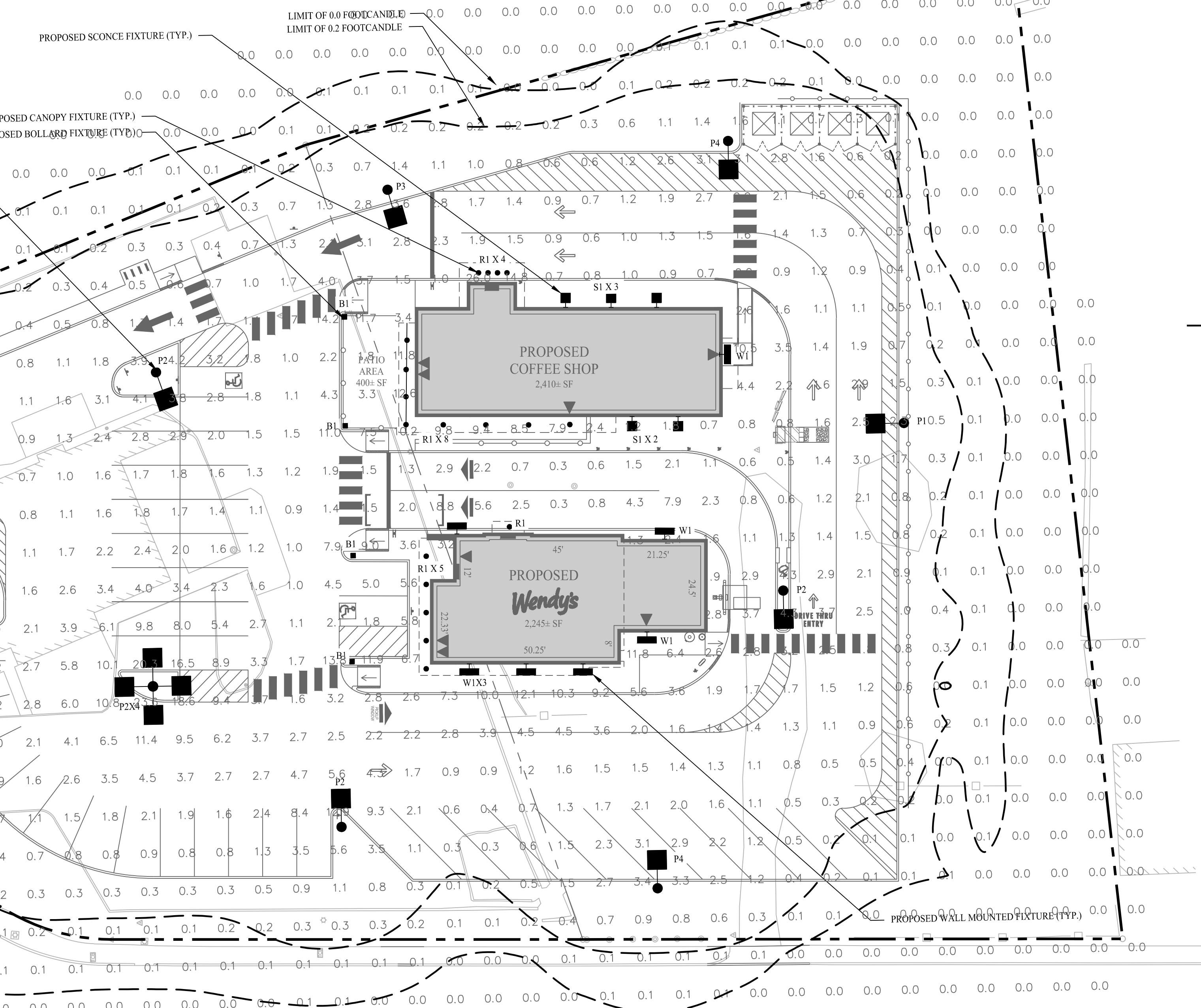
### PROPOSED WALL MOUNTED LIGHT FIXTURE - W1

LITHONIA LIGHTING, WST WALL PACK  
SCALE: NTS



### PROPOSED BOLLARD FIXTURE - B1

CREE LIGHTING, EDGE PATHWAY BOLLARD  
SCALE: NTS



### Fixture Schedule

QTY	CALLOUT	SYMBOL	Fixture Description	Model	Notes	LUMENS
7	W1	■	WALL MOUNTED FIXTURE	WSTLED-P2-30K-VF-MVLT-DBLXD	3K LED, 10' MOUNTING HEIGHT	3,000
18	R1	●	CANOPY MOUNTED FIXTURE	ALPHABET LEDRA BRANDS, SERIES NUI TYPE RAPH, WD	27W 3K LED, 10' MOUNTING HEIGHT	1,110
4	B1	■	BOLLARD FIXTURE	CREE LIGHTING EDGE SERIES, MODEL PWY-EDG-5M-P4-02-E-UH-BK-S25	34W 3K LED, 46"	2,404
5	S1	■	WALL MOUNTED FIXTURE	NOVUS DECOR, ARMOR OUTDOOR SCONCE: LED PAR 20 550LM 3000K, BLACK	3K LED, 6' ON CENTER MOUNTING HEIGHT	550
1	P1	●■	POLE MOUNTED FIXTURE	CREE LIGHTING OSQ LED SERIES, MODEL OSQ-M-C-BLSF-9L-30K7-4M-UL-NM-BK	55W 3K LED, 18' MOUNTING HEIGHT	5,650
7	P2	●■	POLE MOUNTED FIXTURE	CREE LIGHTING OSQ LED SERIES, MODEL OSQ-M-C-BLSF-9L-30K7-4M-UL-NM-BK	55W 3K LED, 18' MOUNTING HEIGHT	8,225
2	P3	●■	POLE MOUNTED FIXTURE	CREE LIGHTING OSO LED SERIES, MODEL OSQ-M-C-BLSF-9L-30K7-4B-UL-NM-BK	55W 3K LED, 18' MOUNTING HEIGHT	5,650
2	P4	●■	POLE MOUNTED FIXTURE	CREE LIGHTING OSO LED SERIES, MODEL OSQ-M-C-BLSF-9L-30K7-4B-UL-NM-BK	55W 3K LED, 18' MOUNTING HEIGHT	5,175
8	N/A	N/A	POLE	CREE LIGHTING, POLE SSS-3-11-17-CW-BS-ID-C-BK	17' POLE, 1' FOUNDATION	N/A
1	N/A	N/A	POLE	CREE LIGHTING, POLE SSS-3-11-17-CW-BS-ID90-C-BK	17' POLE, 1' FOUNDATION	N/A

### Legend

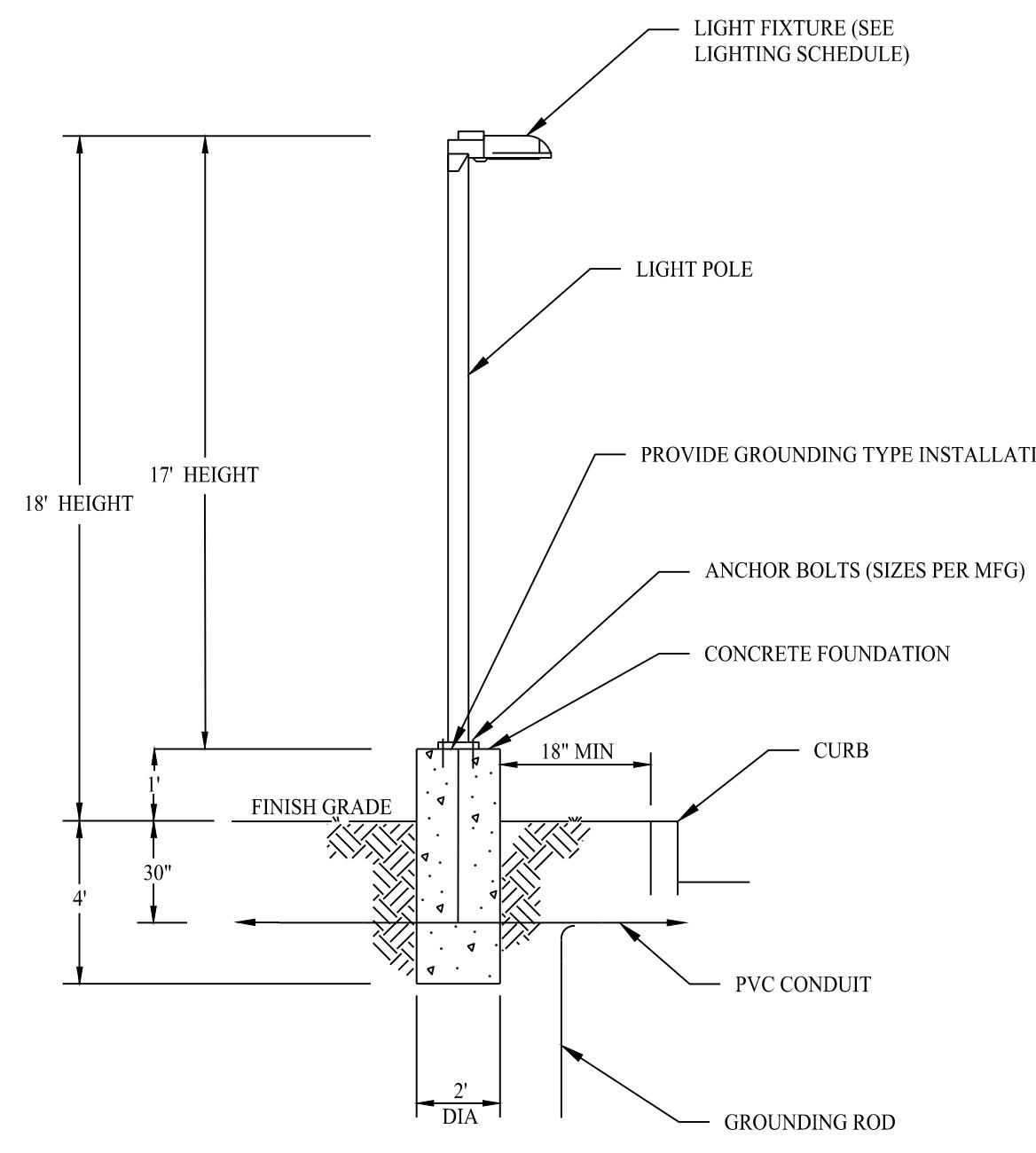
0.1	0.1	0.1	PROPOSED FOOTCANDLES
0.1	0.1	0.0	PROPOSED WALL MOUNTED FIXTURE
0.1	0.0	0.0	PROPOSED WALL SCONCE
●	●	●	PROPOSED CANOPY MOUNTED FIXTURES
■	■	■	PROPOSED BOLLARD FIXTURES
●■	●■	●■	EXISTING POLE MOUNTED FIXTURES
—	—	—	LINE OF 0.2 & 0.0 FOOTCANDLES

### GENERAL NOTES

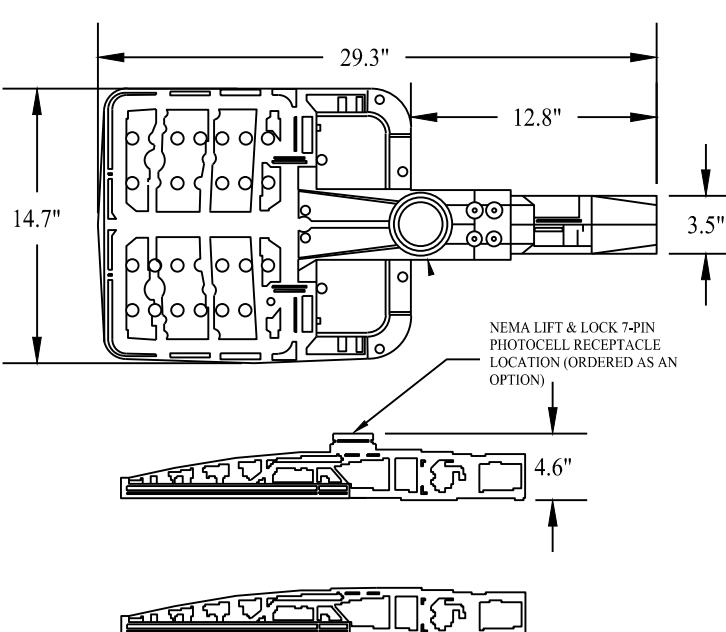
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### LIGHTING NOTES

- ALL LIGHT FIXTURES TO BE MOUNTED AND INSTALLED PER MANUFACTURER SPECIFICATIONS.
- ALL WORK AND RELATED MATERIALS SHALL COMPLY WITH TOWN, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
- ALL EXISTING SITE LIGHT FIXTURES TO BE REMOVED.



### PROPOSED LIGHT POLE - P1, P2, P3 & P4



### POLE MOUNTED LIGHT FIXTURE - P1, P2, P3 & P4

Rev. #:	Date:	Description:	
Graphic Scale:			
20	0	20	40

**SOLLI**  
ENGINEERING

MONROE, CT | W. HARTFORD, CT | NORWOOD, MA

SOLLENGINEERING.COM

T: (203) 880-5455 F: (203) 880-6995

Drawn By: MMH

Checked By: MFB

Approved By: KMS

Project #: 22203701

Plan Date: 12/18/24

Scale: 1" = 20'

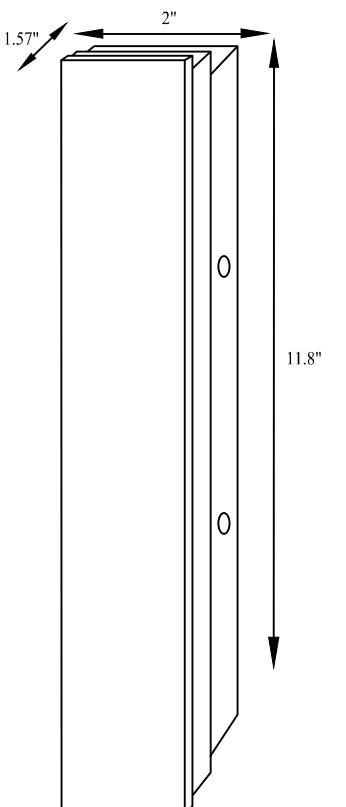


Project:

**BRIDGE STREET  
LANDING**  
5 ARLINGTON STREET  
DRACUT, MASSACHUSETTS

Sheet Title: LIGHTING PLAN

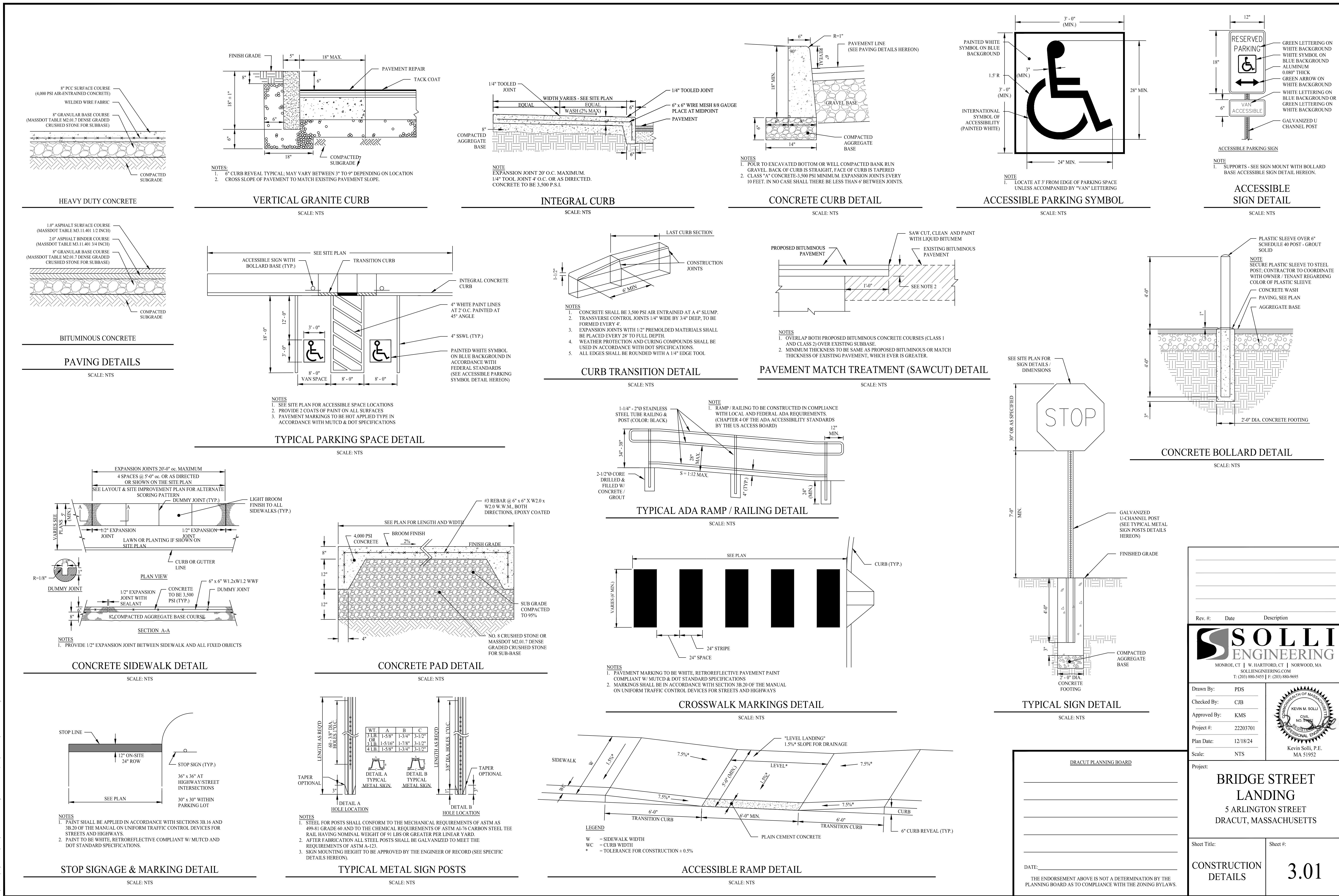
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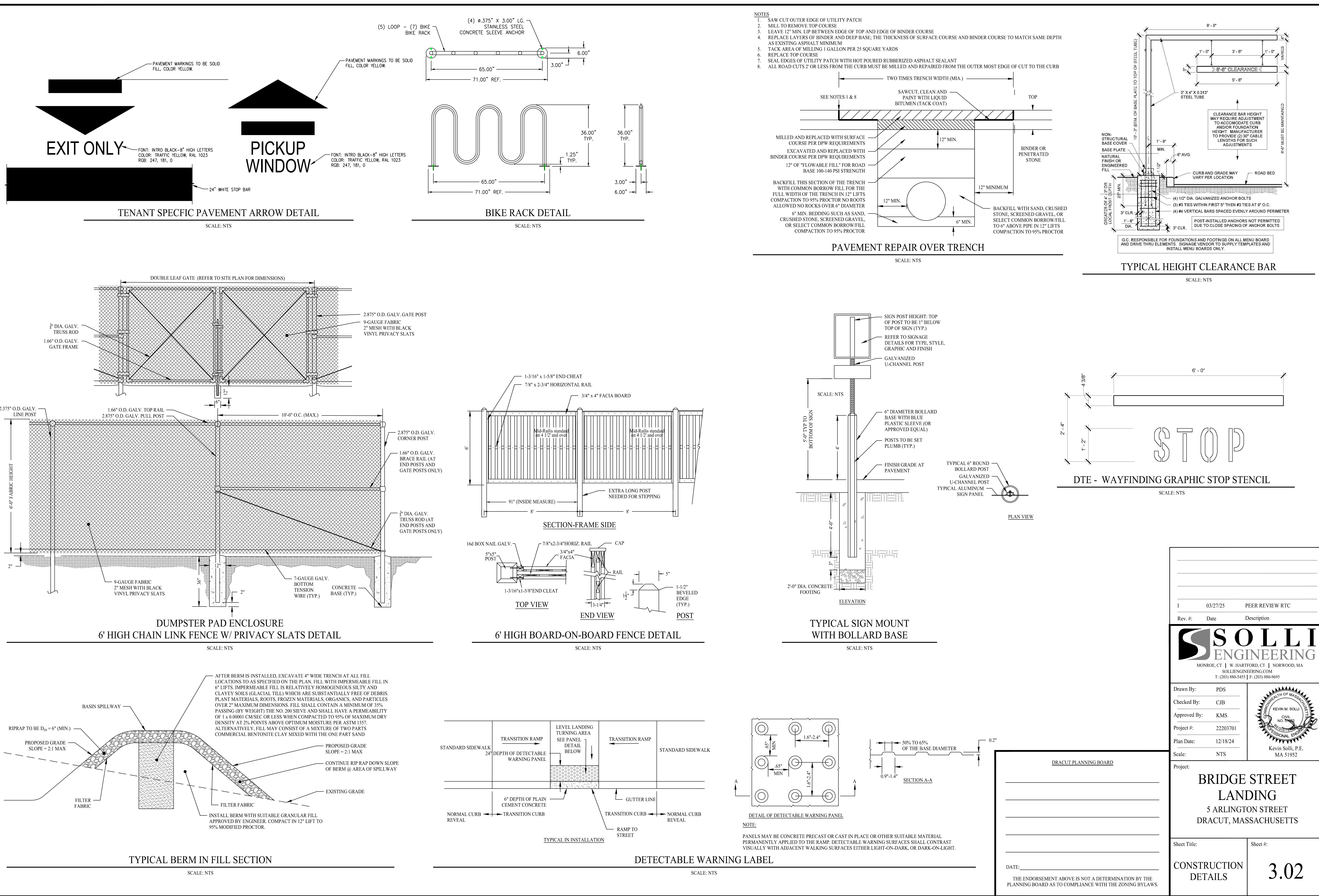


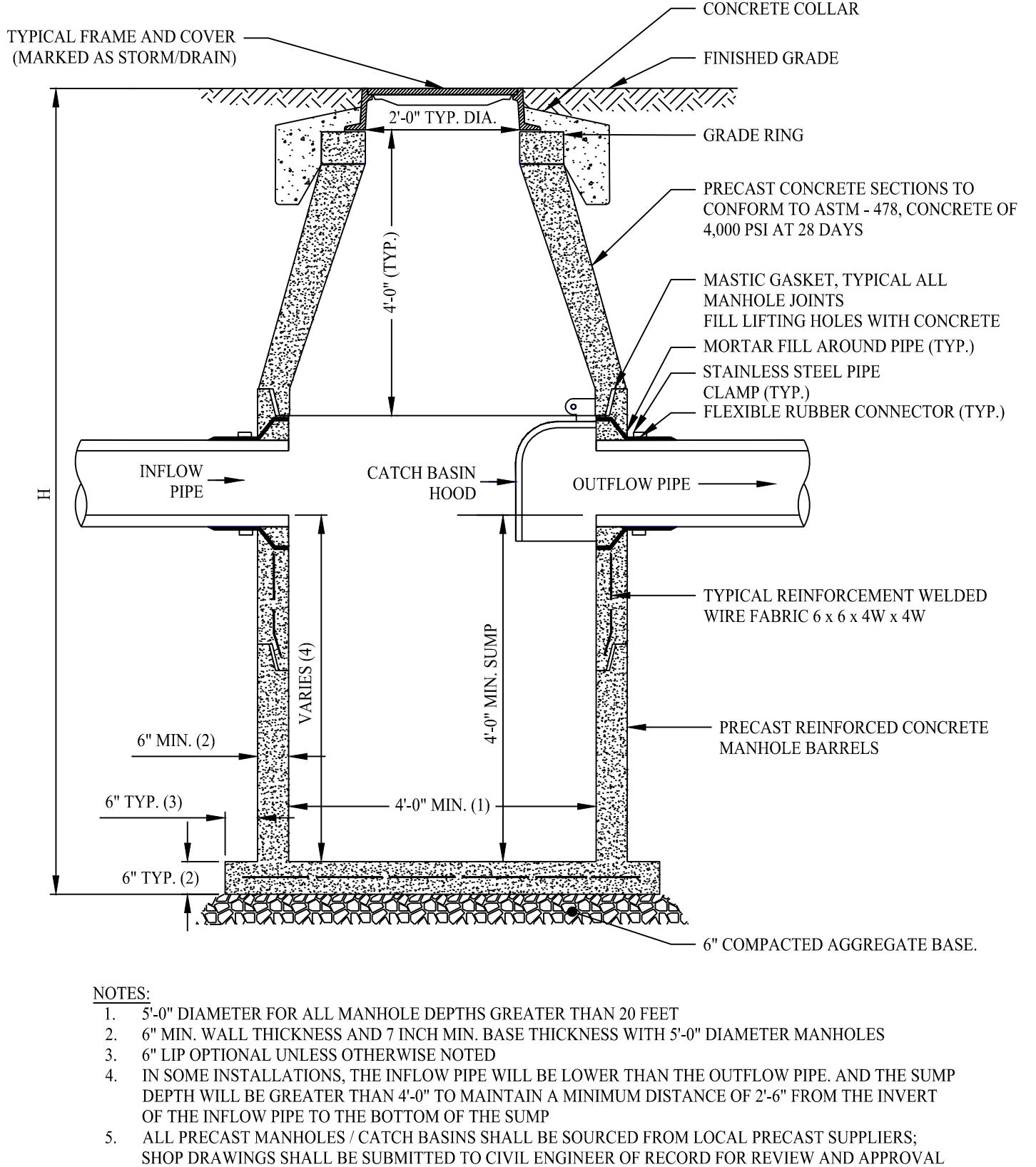
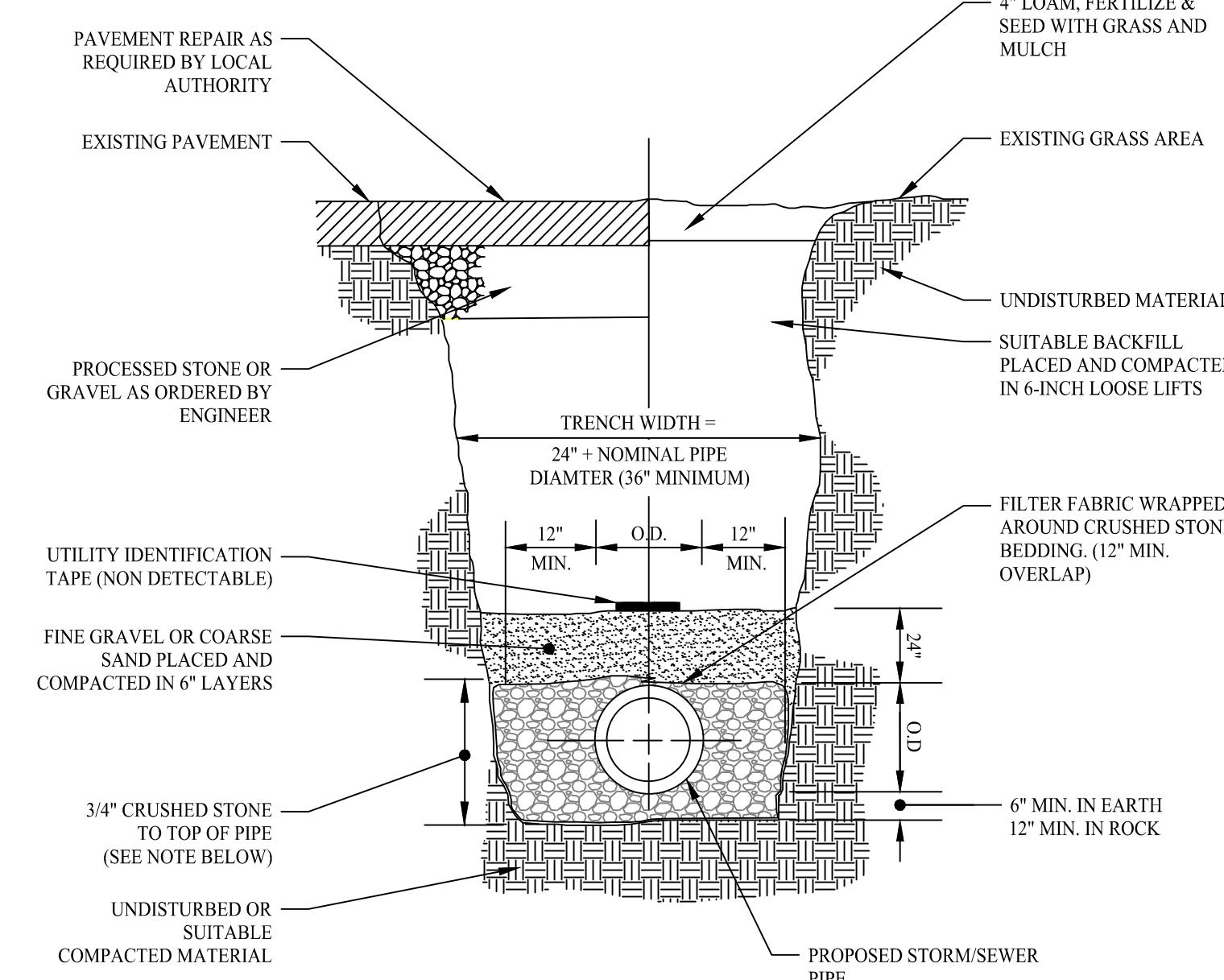
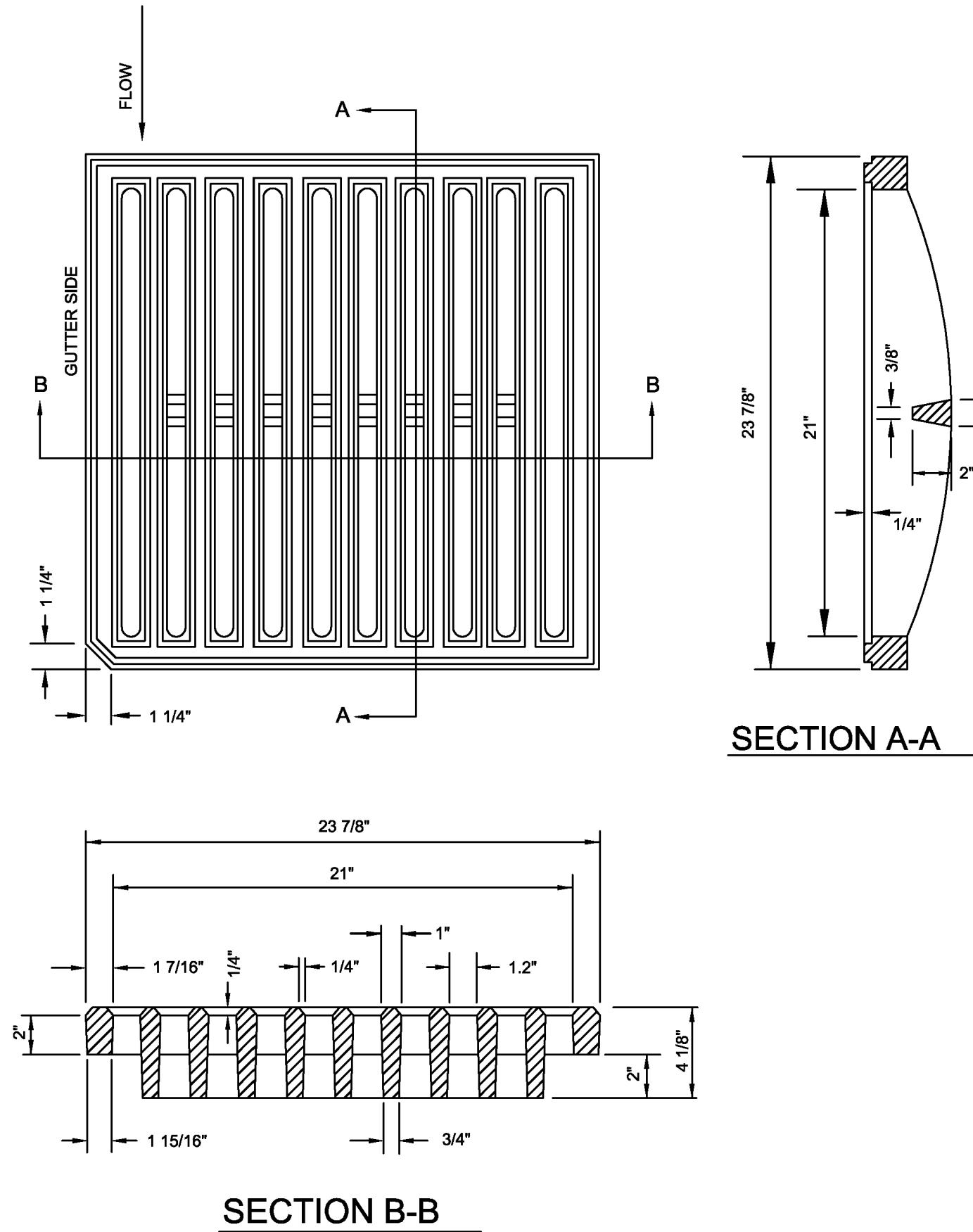
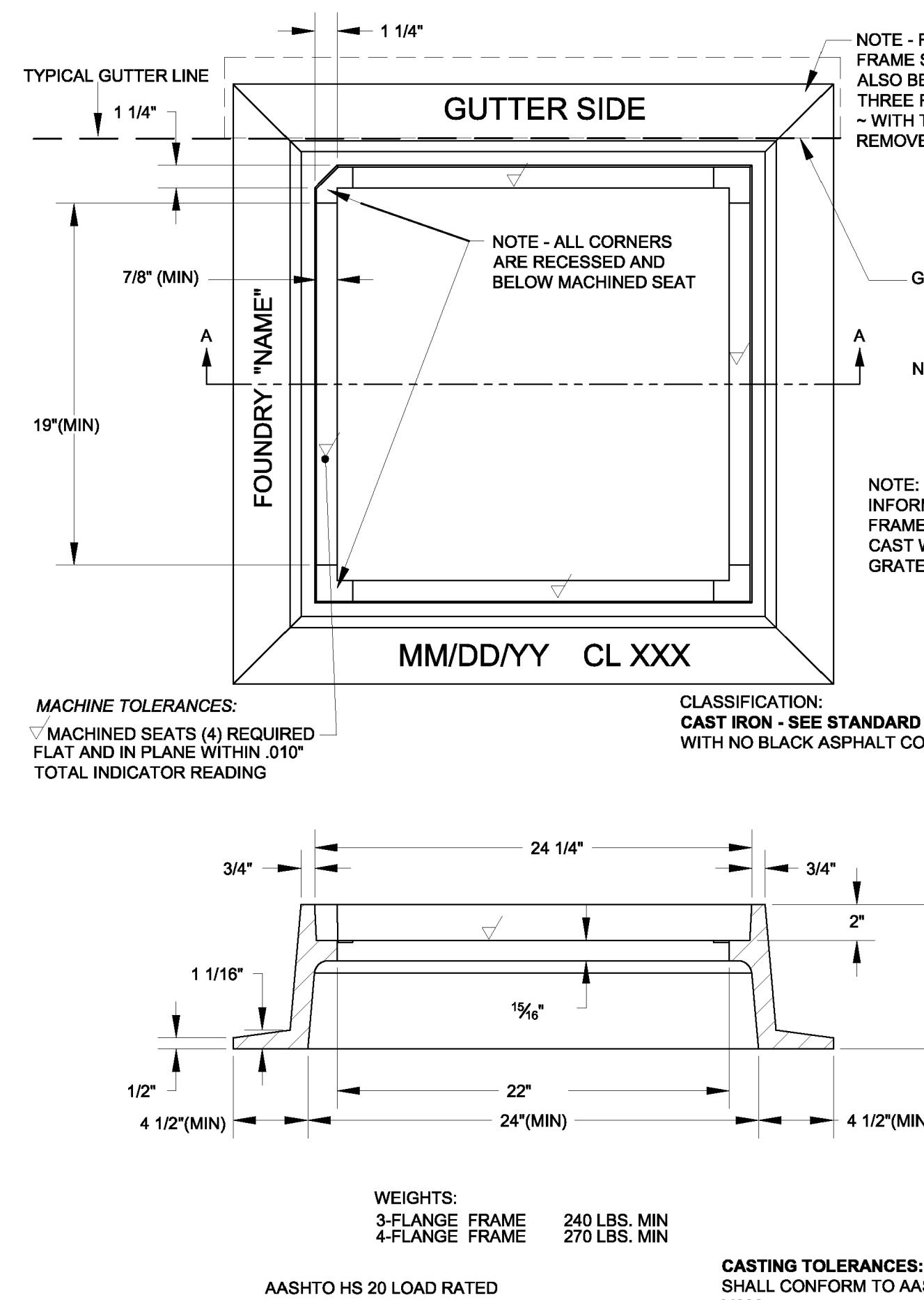
### PROPOSED WALL MOUNTED SCONCE - S1

NOVUS LIGHTING, ARMOR OUTDOOR WALL SCONCE  
SCALE: NTS

DRAZUT PLANNING BOARD	
DATE:	
THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAWS.	







## CATCH BASIN FRAME DETAIL

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**SCALE: NTS**

## CATCH BASIN GRATE DETAIL

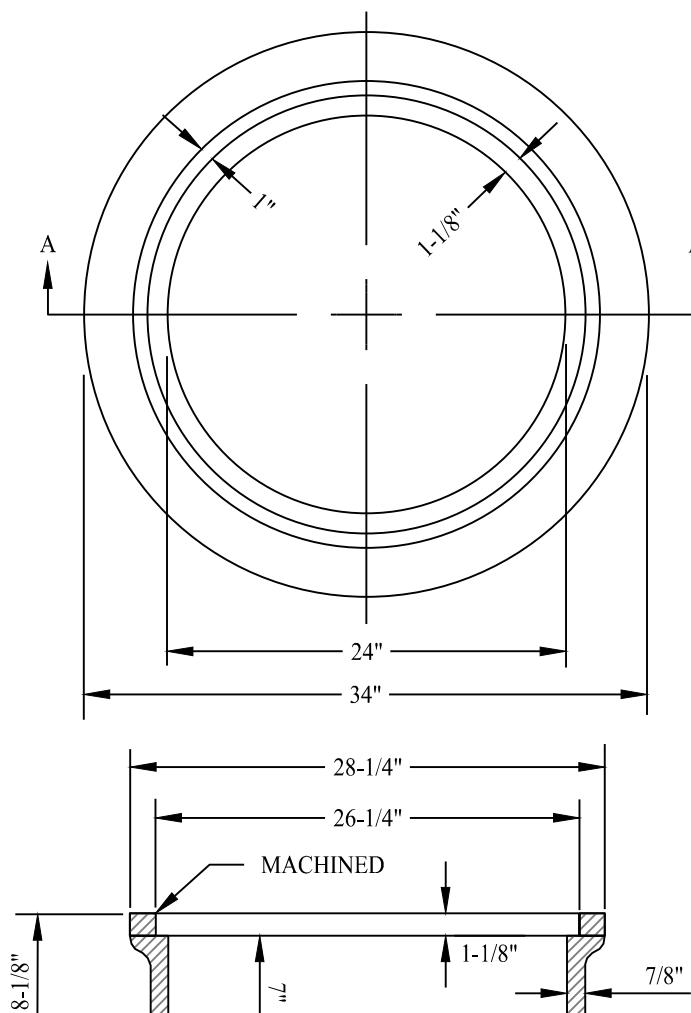
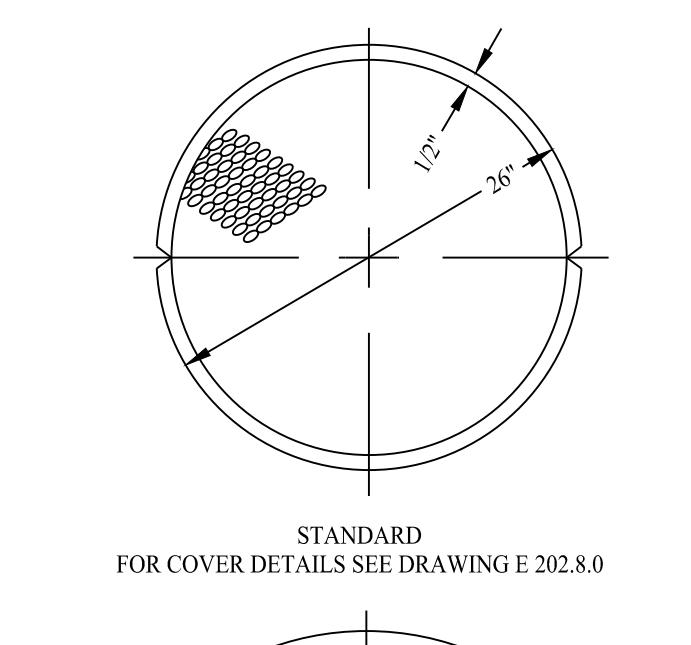
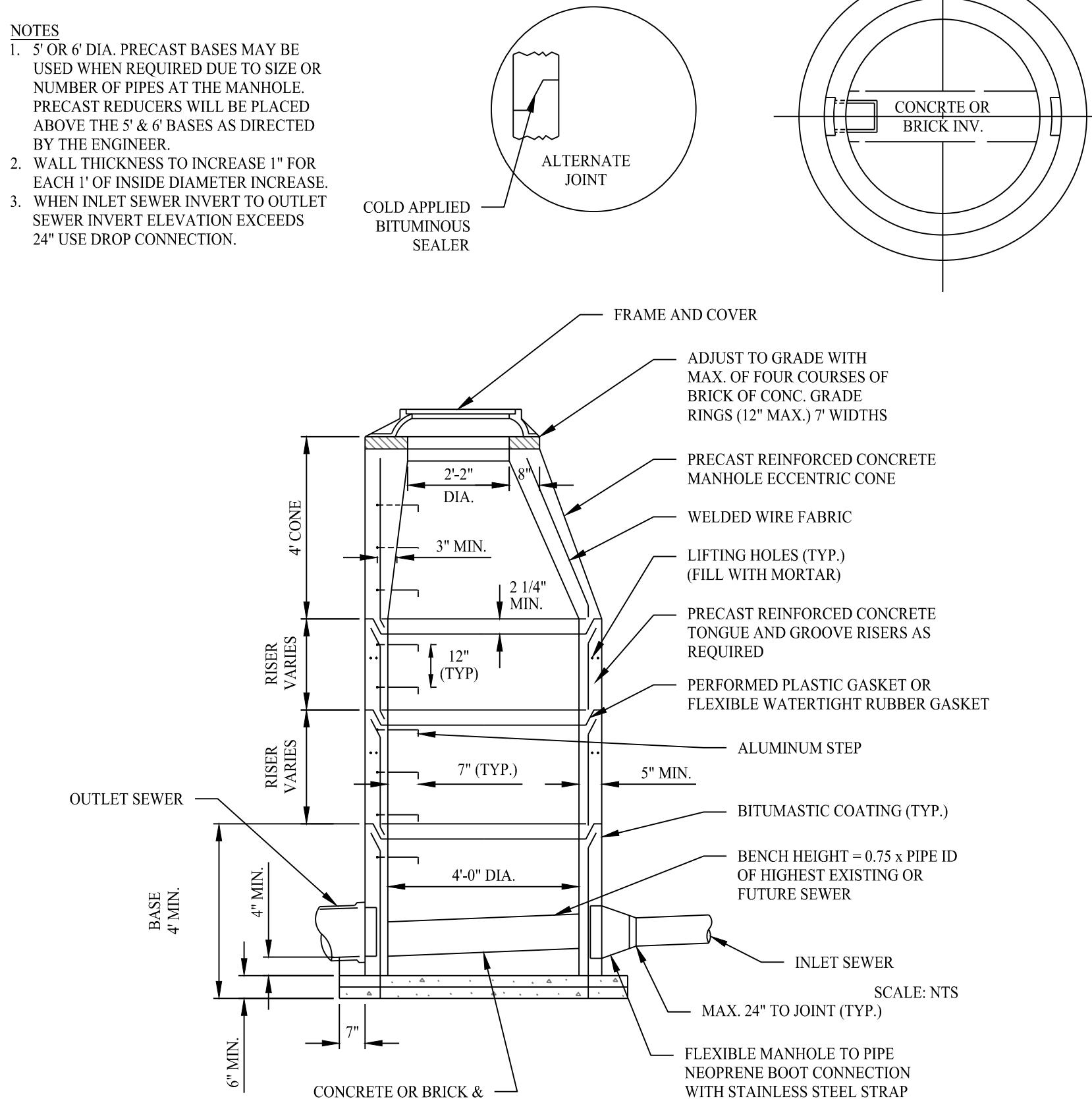
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DETAIL PROVIDED BY MASSDOT

## STORM / SEWER TRENCH SECTION DETAIL

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SCALE: NTS



## PRECAST SANITARY MANHOLE

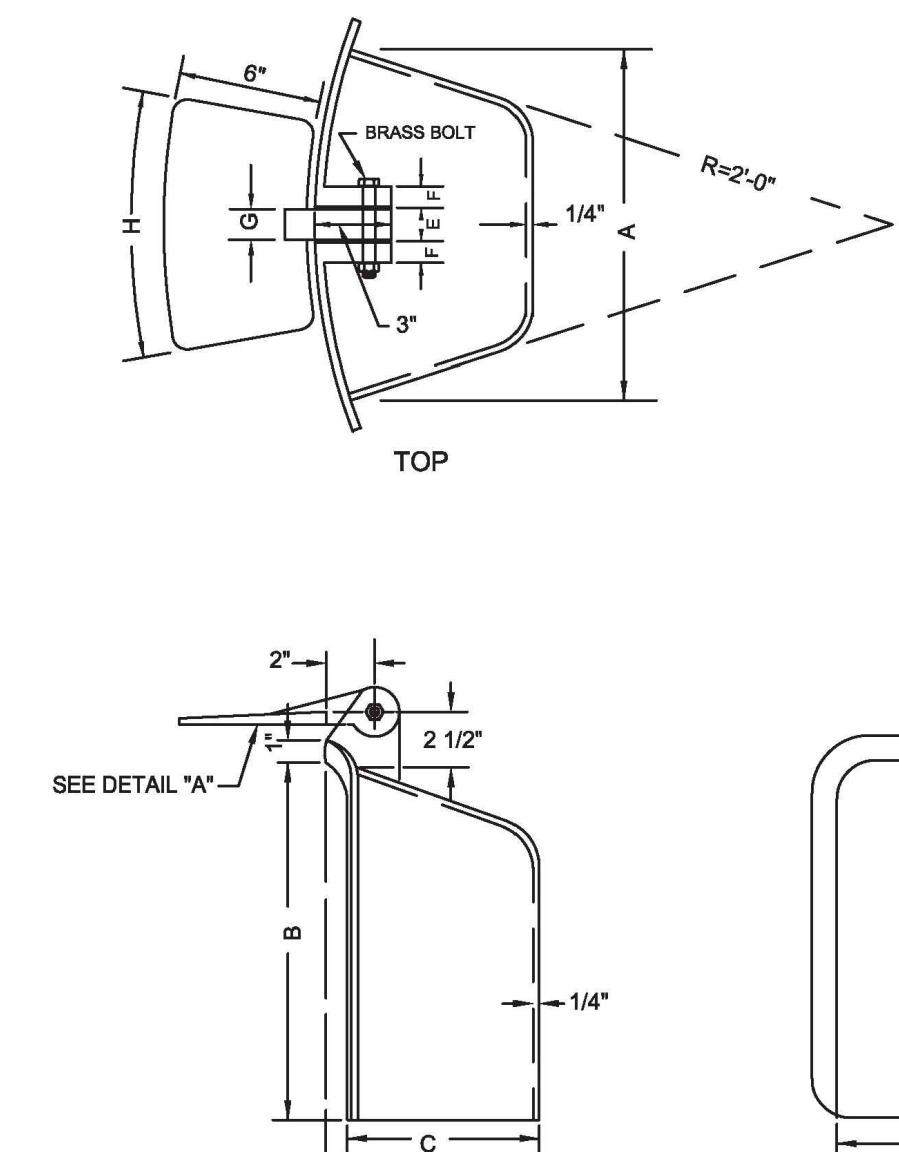
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SCALE: NTS



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SCAI



NOTES

1. MINIMUM MASS 265 LBS.  
2. MATERIAL - CAST IRON - SEE STANDARD SPECIFICATIONS

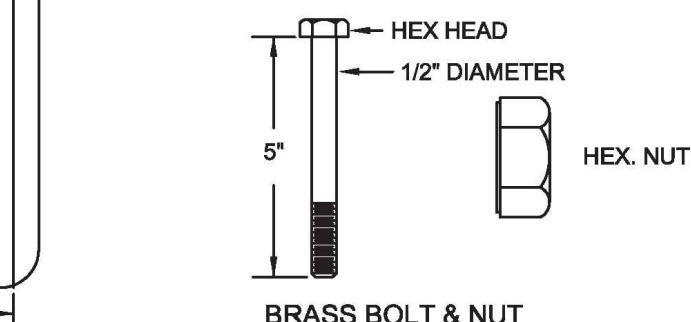
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SCALE: NT

## CATCH BASIN HOOD DETAIL

---

DETAIL PROVIDED BY MASSDOT



# CLEANOUT DETAIL

SCALE: NTS

# CLEANOUT DETAIL

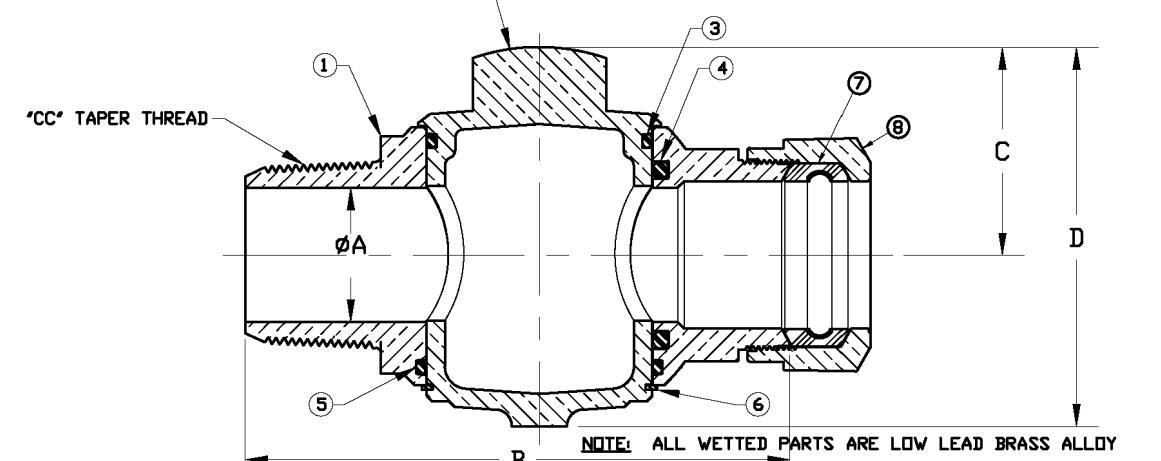
SCALE: NTS

The logo for SOLLI Engineering. It features a large, stylized 'S' and 'L' monogram where the 'S' is black and the 'L' is grey. To the right of the monogram, the word 'SOLLI' is written in a large, bold, serif font. Below 'SOLLI', the word 'ENGINEERING' is written in a slightly smaller, bold, serif font. At the bottom of the logo, the address 'MONROE, CT | W. HARTFORD, CT | NORWOOD, MA' is listed, followed by the website 'SOLLIENGINEERING.COM' and the phone number 'T: (203) 880-5455 | F: (203) 880-9695'.

Drawn By:	PDS	
Checked By:	CJB	
Approved By:	KMS	
Project #:	22203701	
Plan Date:	12/18/24	
Scale:	NTS	
Project: <b>BRIDGE STREET</b>		

**LANDING**  
5 ARLINGTON STREET  
DRACUT, MASSACHUSETTS

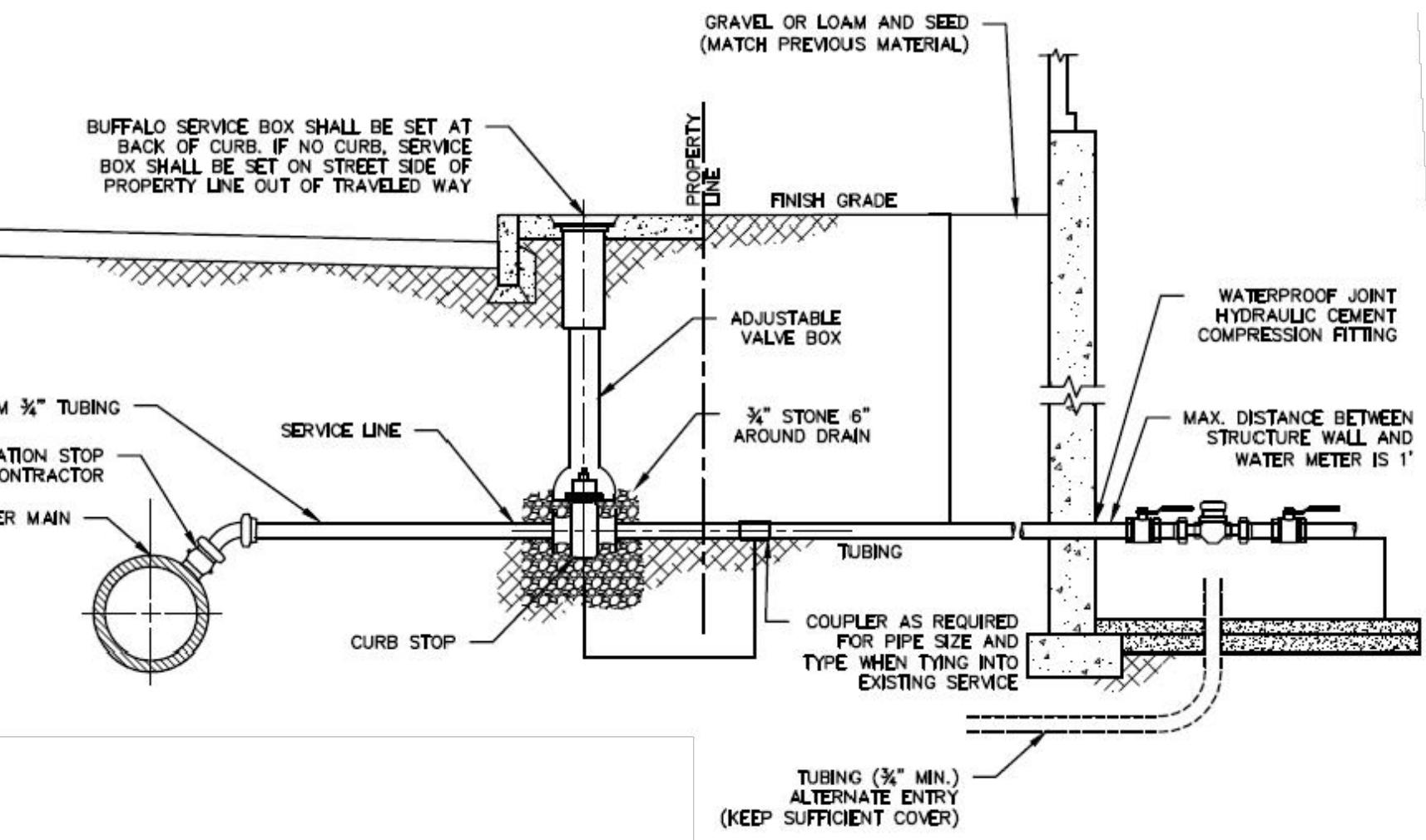
No.	DESCRIPTION	DESCRIPTION
1	BUDDY	CAST LOW LEAD BRASS ALLOY
2	KEY	CAST LOW LEAD BRASS ALLOY
3	DRIVING	EP 02000
4	DRIVING	EP 02000
5	DRIVING	EP 02000
6	RETAINING RING	BERILLIUM COPPER ASTM B177
7	CTS GASKET	STAINLESS STEEL BAND
8	CHINN NUT	CAST BRASS ASTM B62 ALLOY CS6200



CORPORATION STOP DETAIL  
(MUELLER MODEL NO. H-15013 OR AS  
APPROVED BY DRACUT WATER DEPT.)

SCALE: NTS

DETAIL PROVIDED BY MUELLER COMPANY

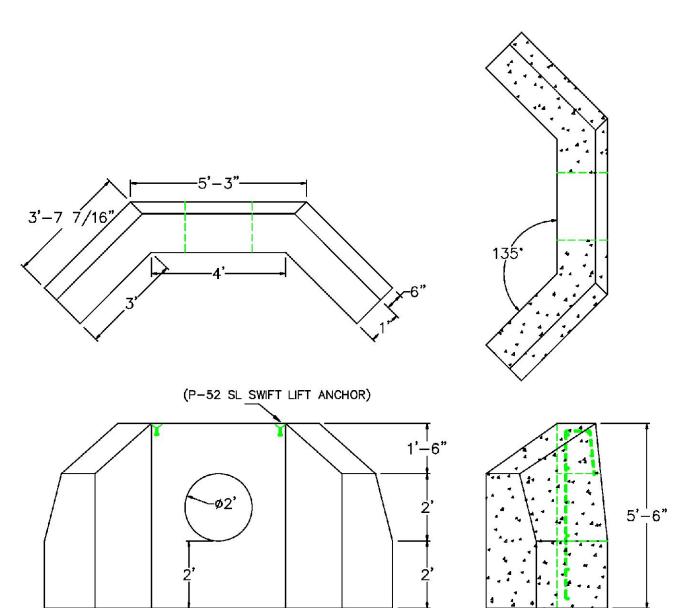


NOTES:

1. NO WATER PIPE DEPTH SHALL EXCEED 5 FEET FROM FINISHED GRADE.
2. CONTRACTOR RESPONSIBLE FOR CONTRACTING CALL BEFORE YOU DIG PRIOR TO EXCAVATION.
3. TRENCH SHALL NOT BE BACKFILLED UNTIL SERVICE HAS BEEN INSPECTED AND APPROVED BY DRACUT WATER PROVIDER.
4. WATER SHALL BE TURNED ON BY DRACUT WATER PROVIDER ONLY AFTER APPROVAL.
5. ONLY CONTRACTORS APPROVED BY DRACUT WATER PROVIDER SHALL MAKE TAP.
6. WATER SERVICE LINES AND METER SHALL BE SIZED BY DRACUT WATER PROVIDER.
7. ALL COMPACTION SHALL BE BY MECHANICAL MEANS AT NO GREATER THAN 12 INCH LIFTS.
8. SERVICE SHALL BE FLUSHED BEFORE ACTIVATING TO AVOID METER CLOGGING.
9. THERE SHALL BE A HORIZONTAL SEPARATION OF 10 FEET FROM ANY SEWER SERVICE OR MAIN EXISTING CORPORATION SHALL BE CLEANED WHEN A SERVICE IS RENEWED.
10. SERVICE SHALL BE LAID PERPENDICULAR TO THE WATER MAIN UNTIL PROPERTY LINE.
11. DRACUT WATER PROVIDER RESERVES THE RIGHT TO MODIFY STANDARDS AT THEIR DISCRETION.

TYPICAL WATER SERVICE CONNECTION DETAIL

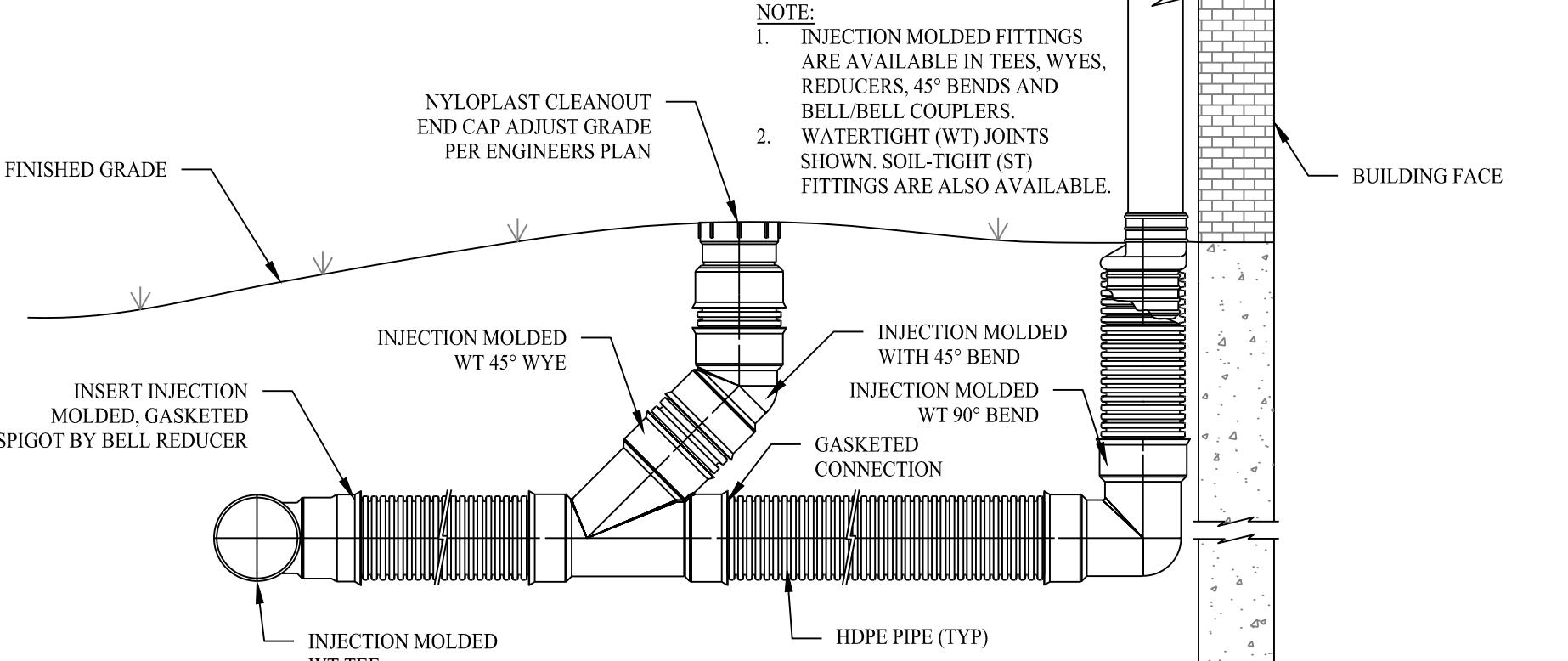
SCALE: NTS



CONCRETE HEADWALL  
(18" PIPE)

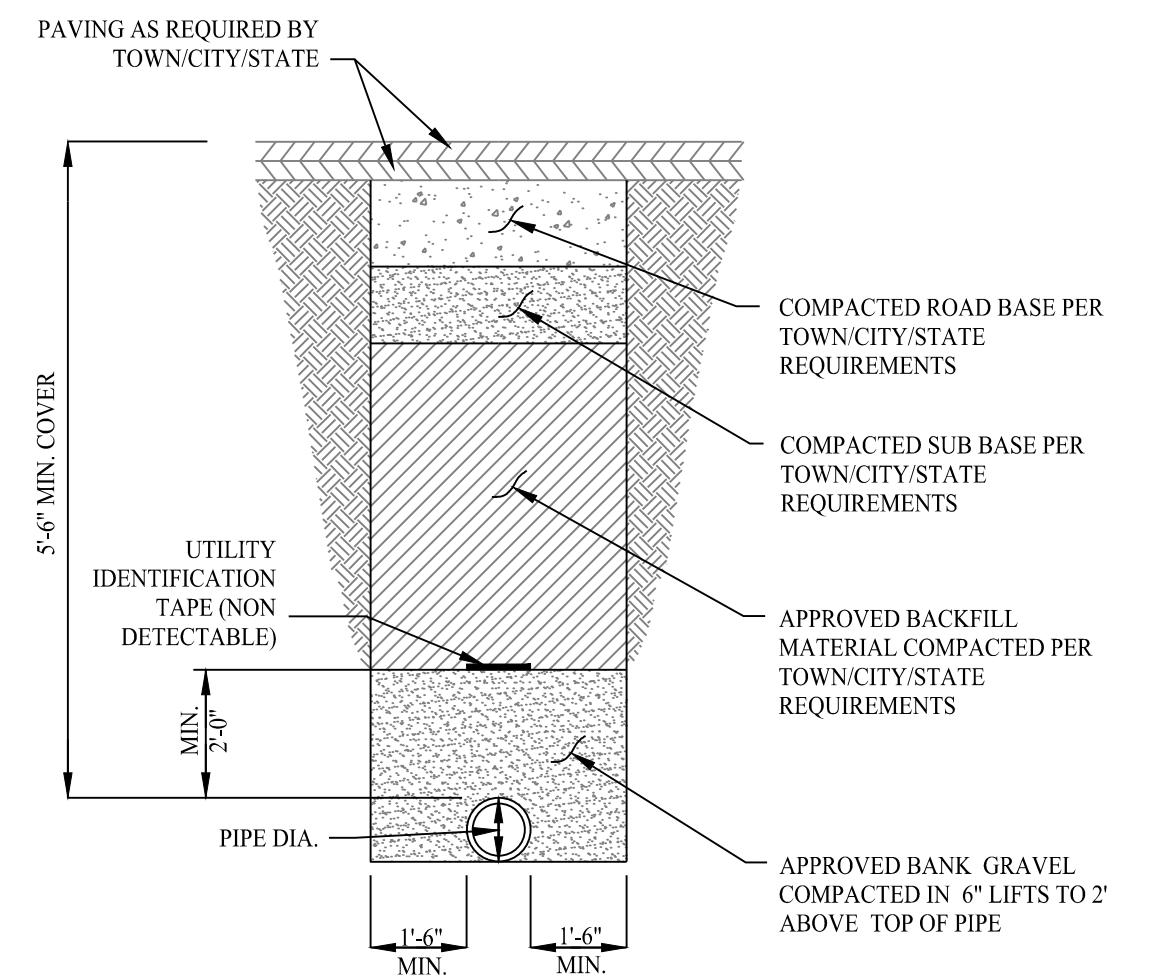
SCALE: NTS

DETAIL PROVIDED BY SCITUATE PRECAST



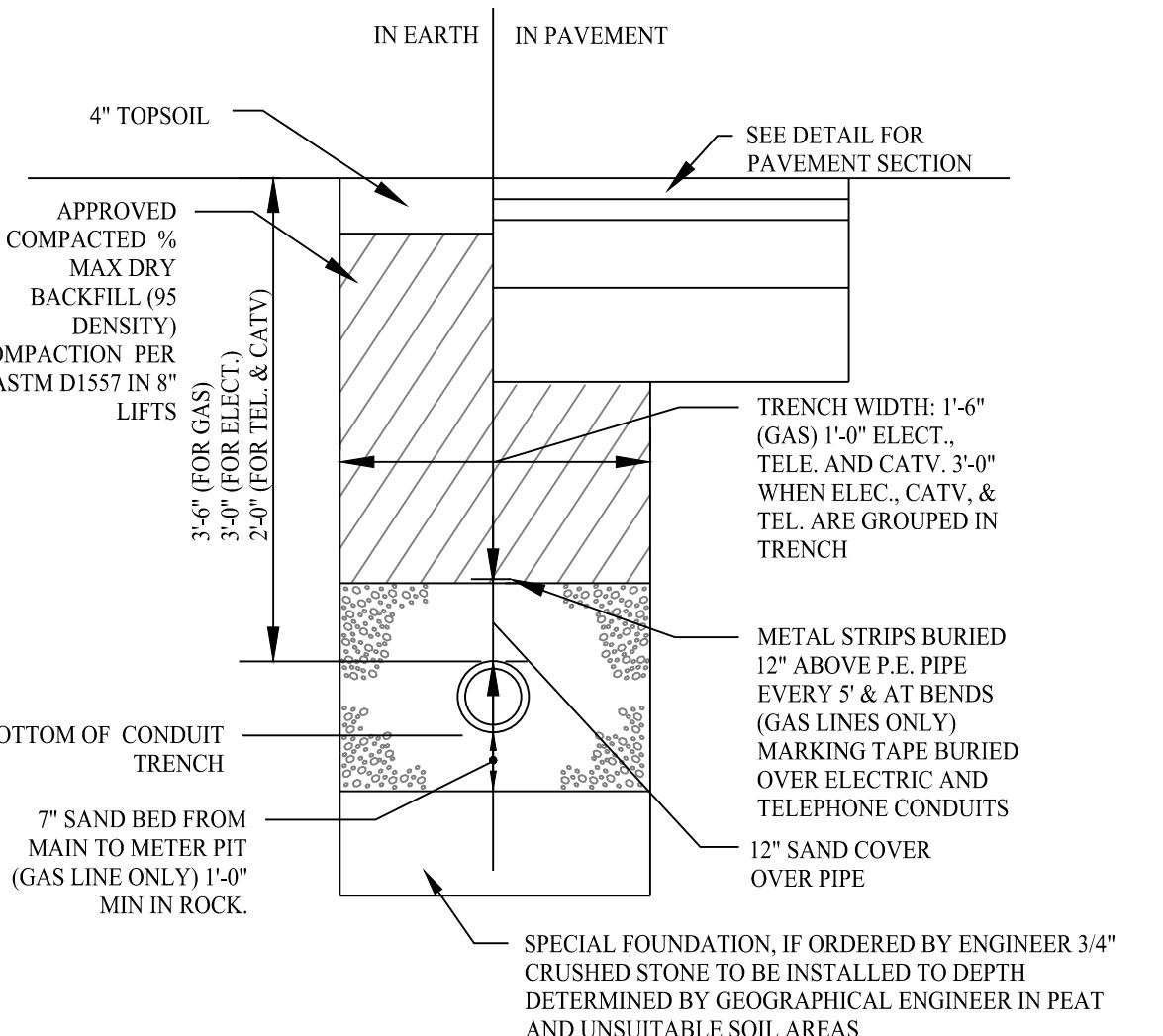
DOWNSPOUT CONNECTION DETAIL

SCALE: NTS



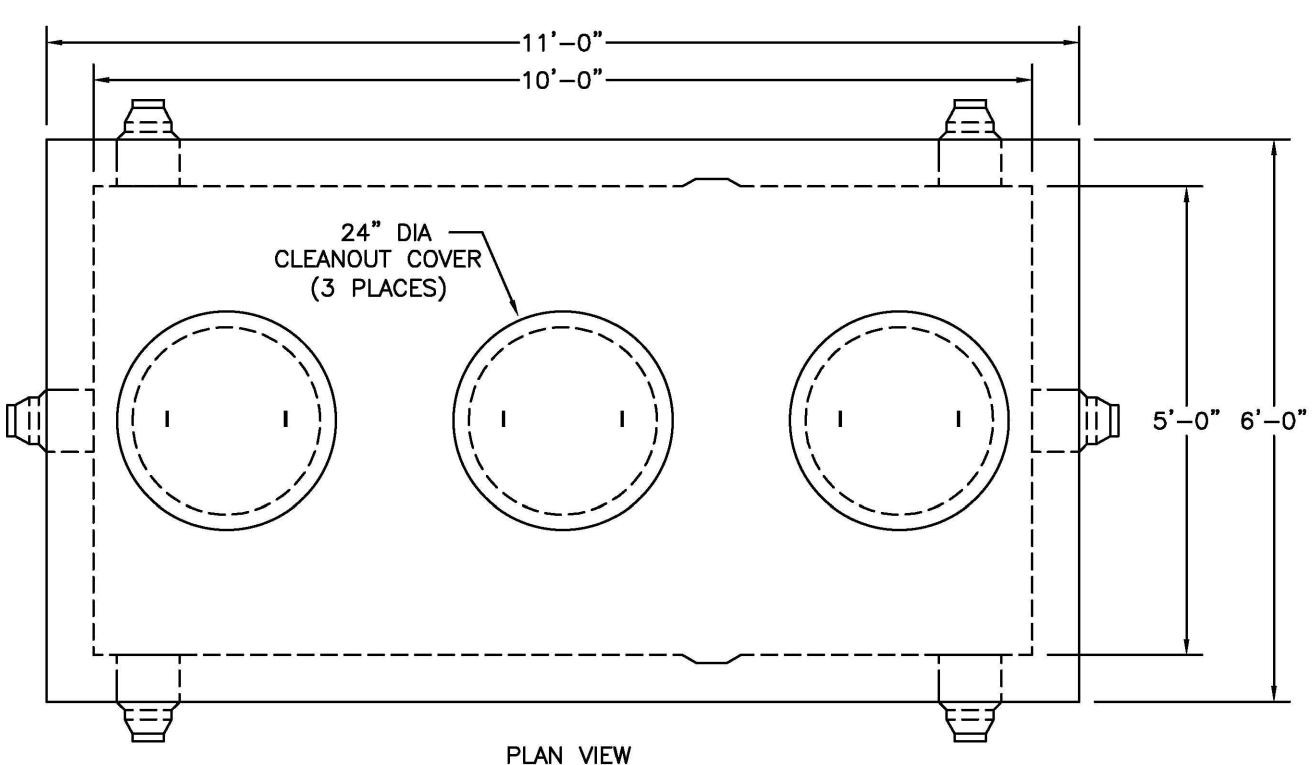
TYPICAL WATER  
SERVICE TRENCH

SCALE: NTS

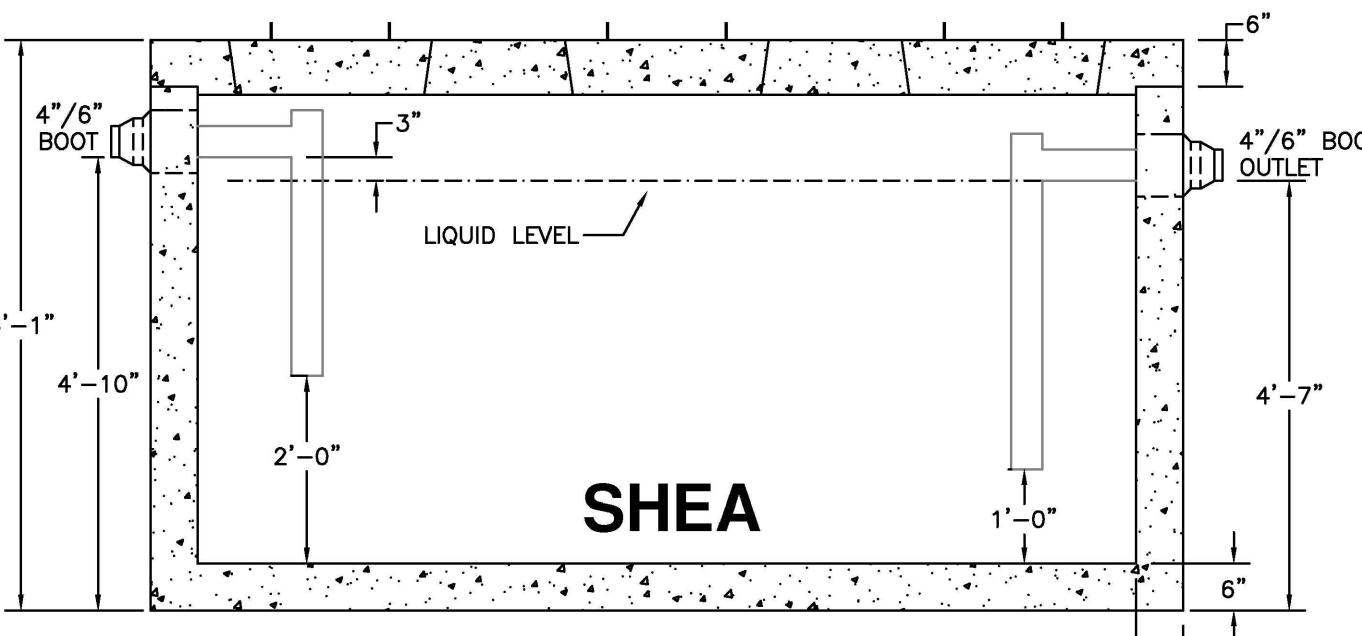


ELECTRICAL, TELEPHONE AND  
GAS TRENCH

SCALE: NTS



PLAN VIEW



SHEA

NOTES:

1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
2. DESIGN CONFORMS WITH 310 CMR 15.00.
3. REG. FOR GREASE TRAPS.
4. DESIGNED FOR ASHTO HS-20 LOADING, 1 TO 5 FT COVER.
5. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.
6. TEES AND BAFFLES SOLD SEPARATELY.

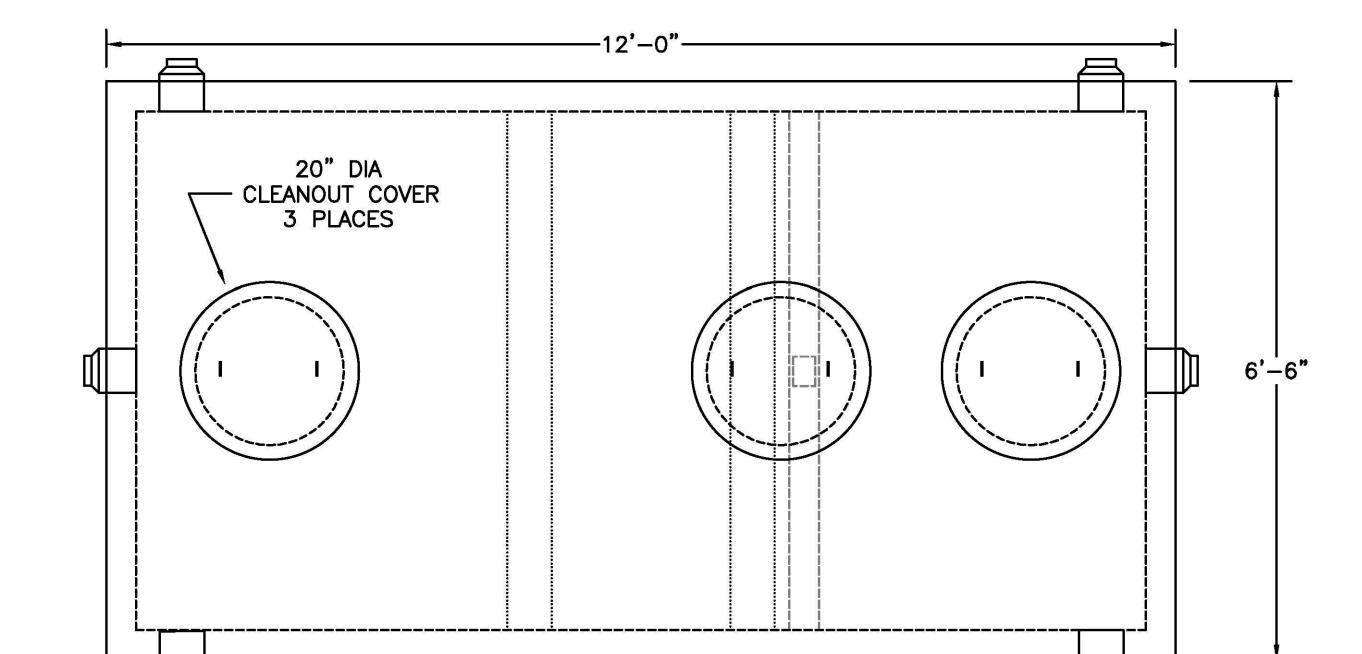
ITEM NO.	TK-M1500C	WEIGHT	TOP	BOTTOM
	22,600#	5,400#	17,200#	

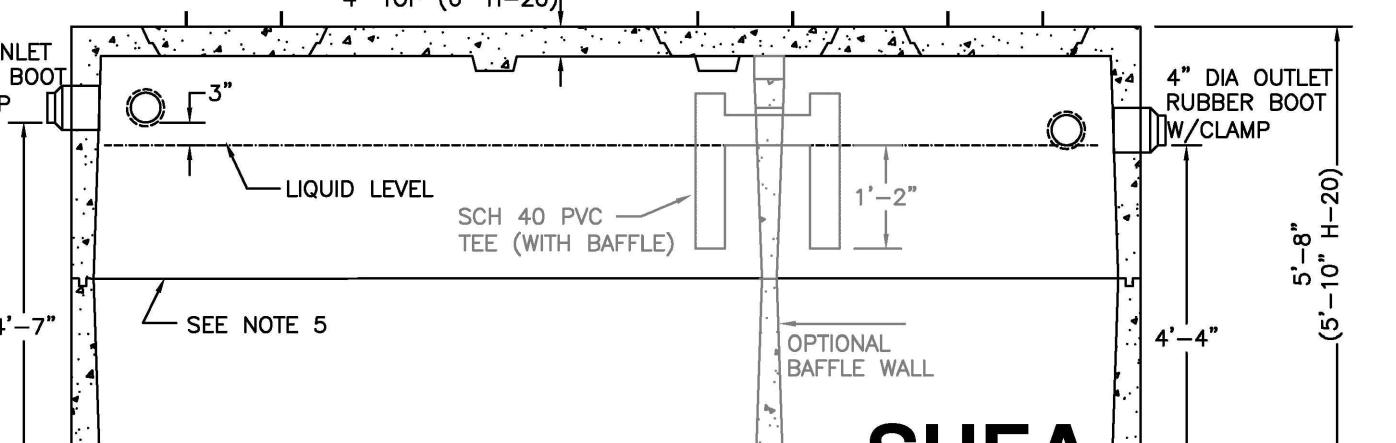
ITEM NO.	TK-M1500C2C	WEIGHT
	24,400#	5,400#

1,500 GAL. GREASE TRAP DETAIL (OR APPROVED EQUAL)

SCALE: NTS



PLAN VIEW



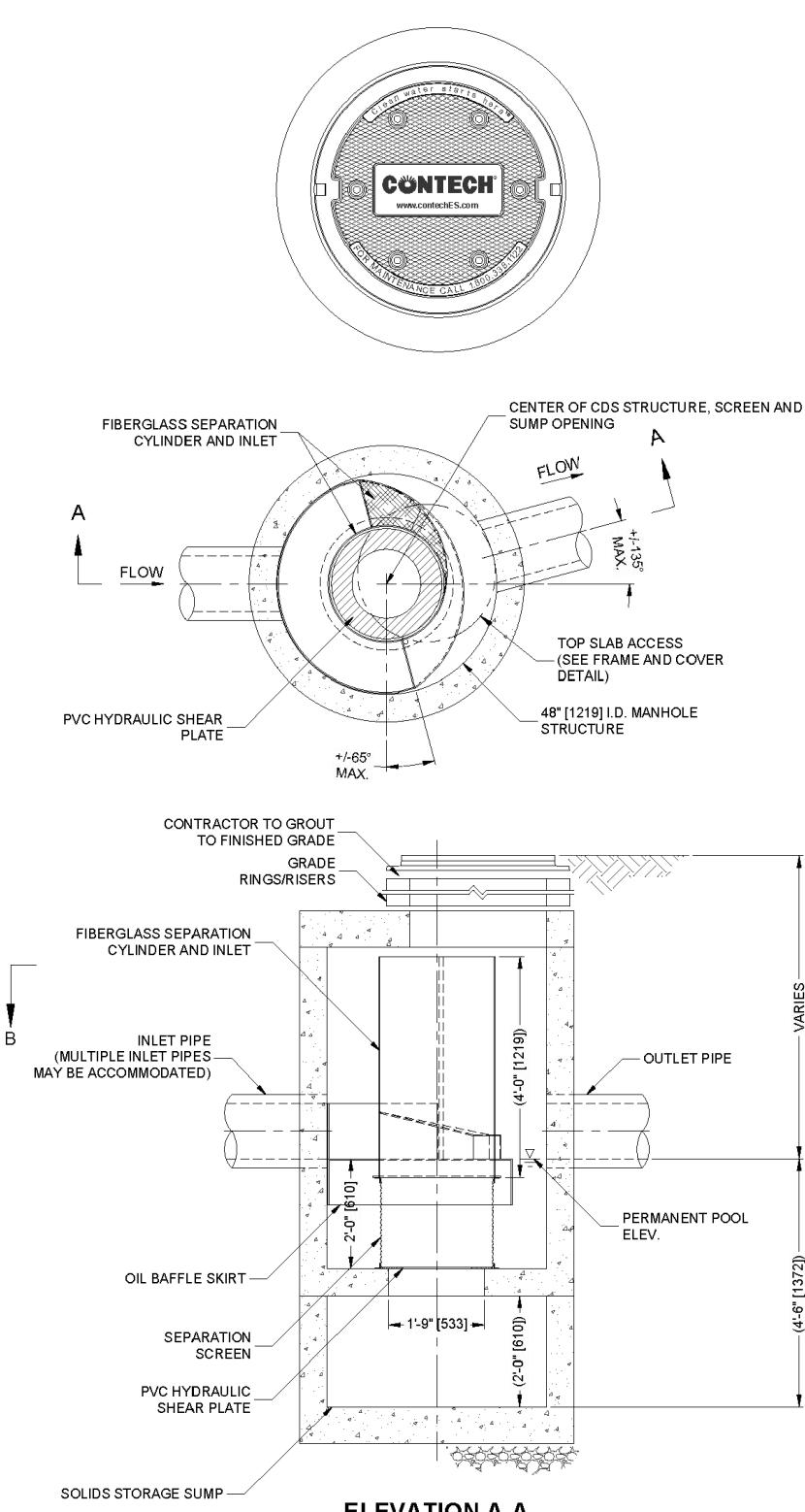
SHEA

NOTES:

1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. CONSTRUCTION OF SEPTIC TANK CONFORMS WITH 310 CMR, SECTION 15.00 DEP TITLE 5 REGS.
3. ALL REINFORCEMENT PER ASTM C1227.
4. BAFFLE WALL OPTIONAL FOR TWO COMPARTMENT TANKS.
5. TEES AND GAS BAFFLE SOLD SEPARATELY.
6. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.
7. IF COVER EXCEEDS 4 FEET, HEAVY DUTY TANK REQUIRED. ALSO AVAILABLE IN ASHTO HS-20 LOADING.

2,000 GAL. GREASE TRAP DETAIL (OR APPROVED EQUAL)

SCALE: NTS



WATER QUALITY UNIT DETAIL  
(CONTECH CDS2015-4-C OR APPROVED EQUAL)

SCALE: NTS

**SOLLI**  
ENGINEERING

MONROE, CT | W. HARTFORD, CT | NORWOOD, MA  
SOLLINEERING.COM  
T: (203) 880-5455 | F: (203) 880-6995



Kevin Solli, P.E.

MA 51952

Drawn By: PDS

Checked By: CJB

Approved By: KMS

Project #: 22203701

Plan Date: 12/18/24

Scale: NTS

Project:

BRIDGE STREET  
LANDING

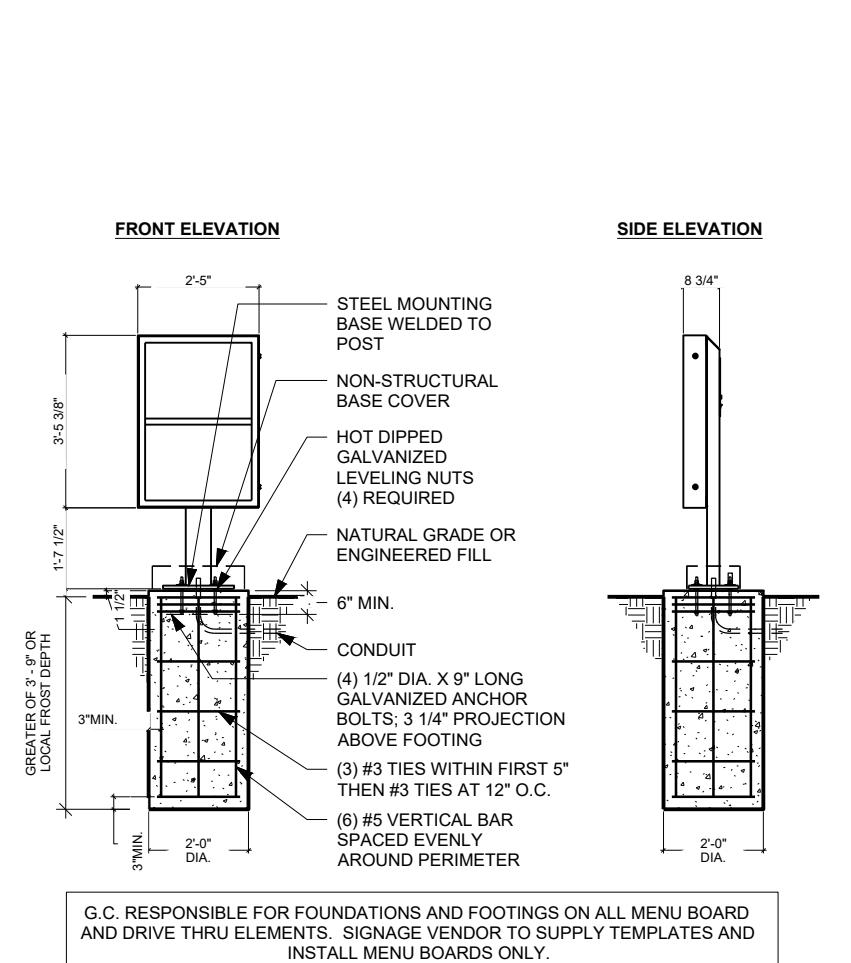
5 ARLINGSTREET  
DRACUT, MASSACHUSETTS

Sheet Title:

Sheet #:

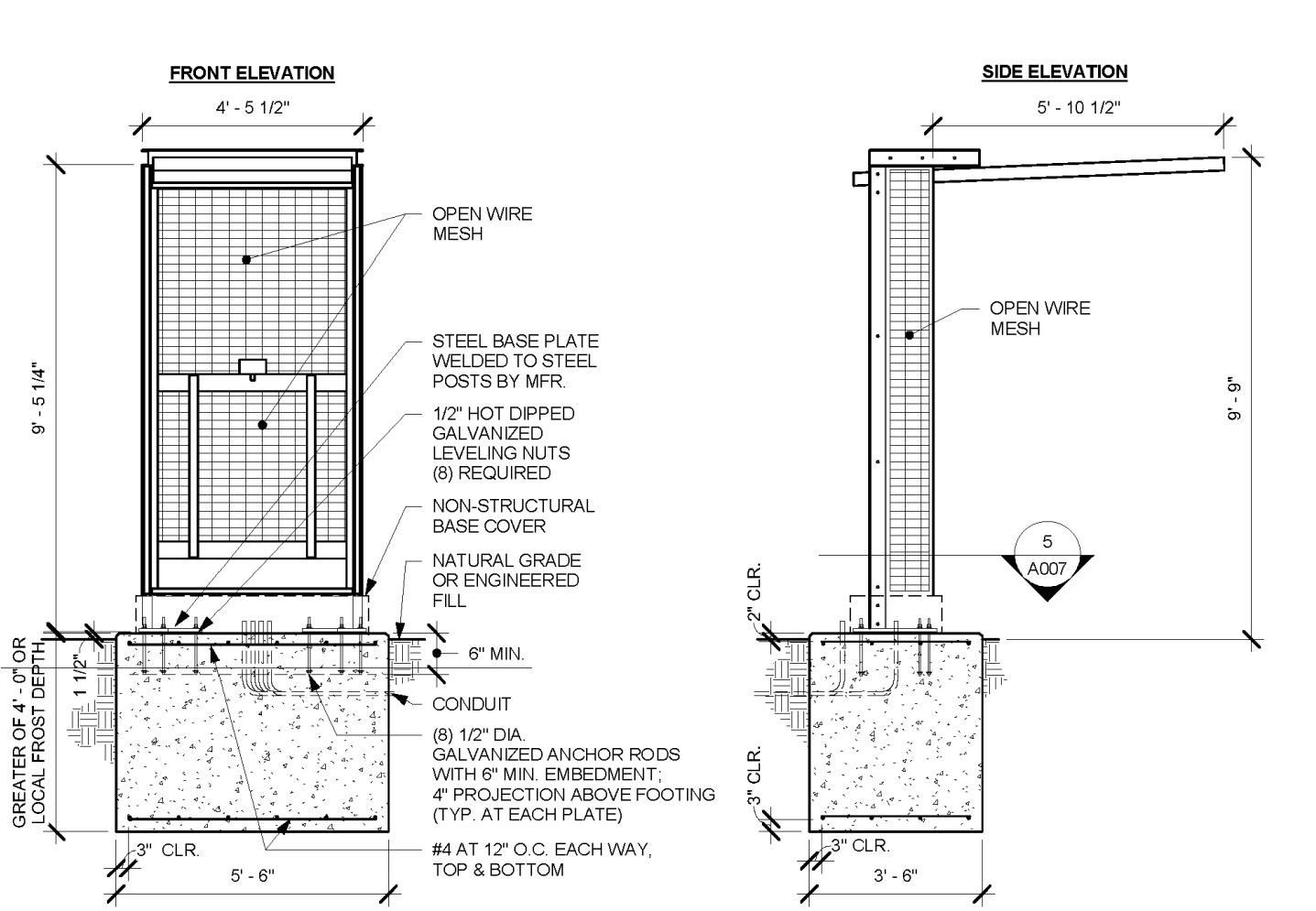
CONSTRUCTION  
DETAILS

3.04



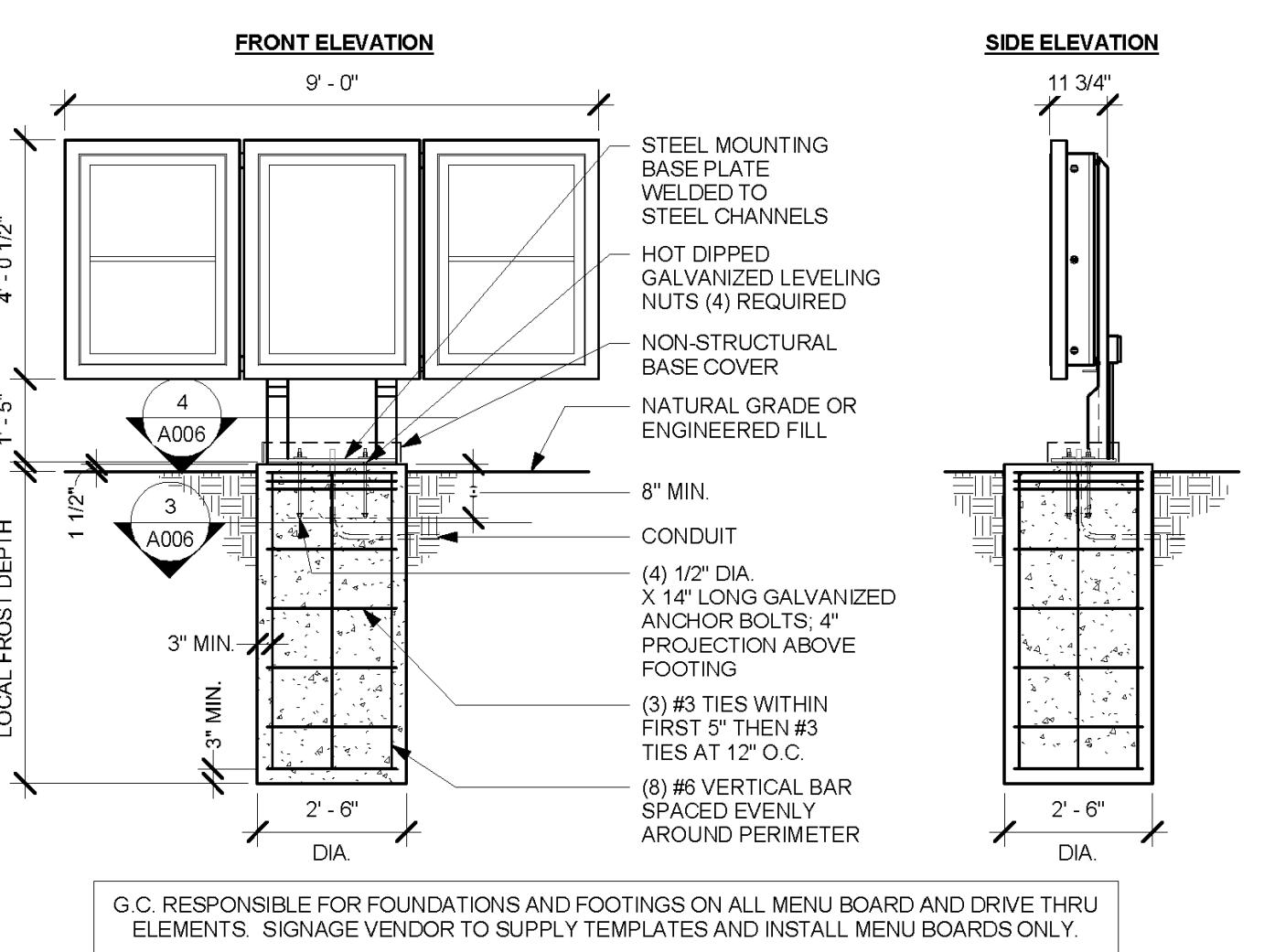
PRE-MENU BOARD

SCALE: NTS



ORDER POINT CANOPY

SCALE: NTS



5-PANEL MENU BOARD AND CANOPY

SCALE: NTS

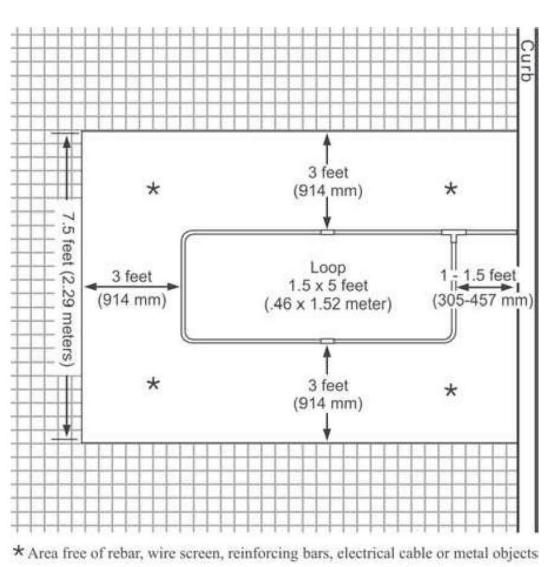


Figure 1. Loop area preparation

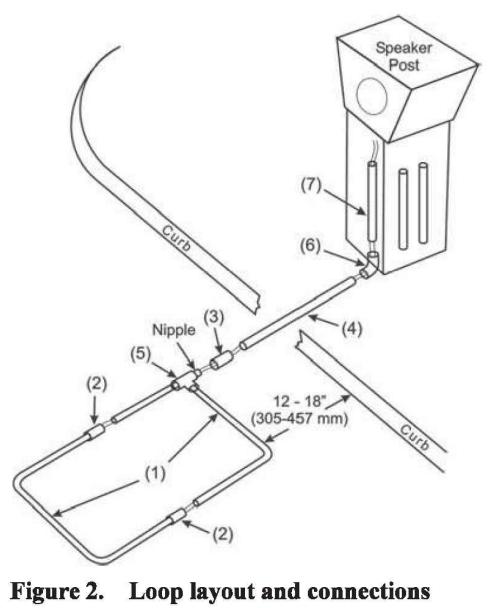
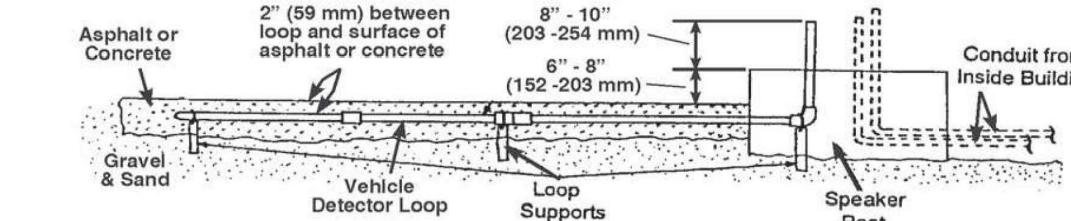


Figure 2. Loop layout and connections

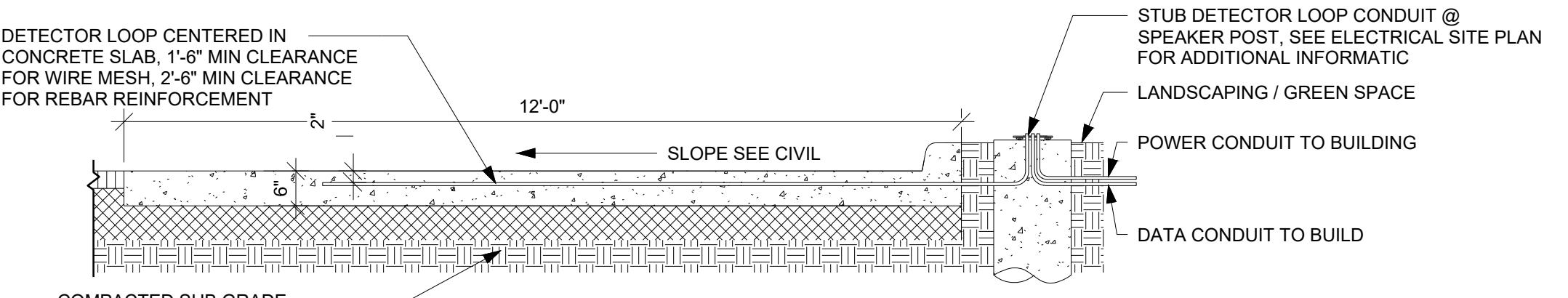
**NOTE:** PVC adhesive (not provided) must be applied wherever PVC couplings and pipe are fitted together.  
 • Flatten the loop (folded for shipping) as shown in Figure 2 (1). Fit the pipe securely into the couplings (2). Lay the loop flat in the drive-thru lane and position it as shown in Figure 2. Elevate the loop on supports that are anchored to the ground, as shown in Figure 3. Level the loop so it will be 2 inches (51 mm) or less from the paved surface when the concrete is poured. Fasten the loop to the supports with wire, so it will not float when the concrete is poured.  
 • Pull the loop wires through the sleeve coupling (3) and the PVC loop extension (4). Slide one end of the sleeve coupling (3) over the nipple on the corner fitting of the loop (5), and slide the end of the loop extension (4) into the other end of the sleeve coupling (3).  
 • Pull the loop wires through the elbow coupling (6) and the remaining 2 foot (.61 meter) piece of PVC (7). Slide the two ends of 4 & 7) into the coupling (6), positioning the piece of PVC (7) so it points upward, out of the ground. Be certain it is next to and parallel to the outlets of the conduit coming into the speaker post or menu board from the building.

post or menu board from the building.



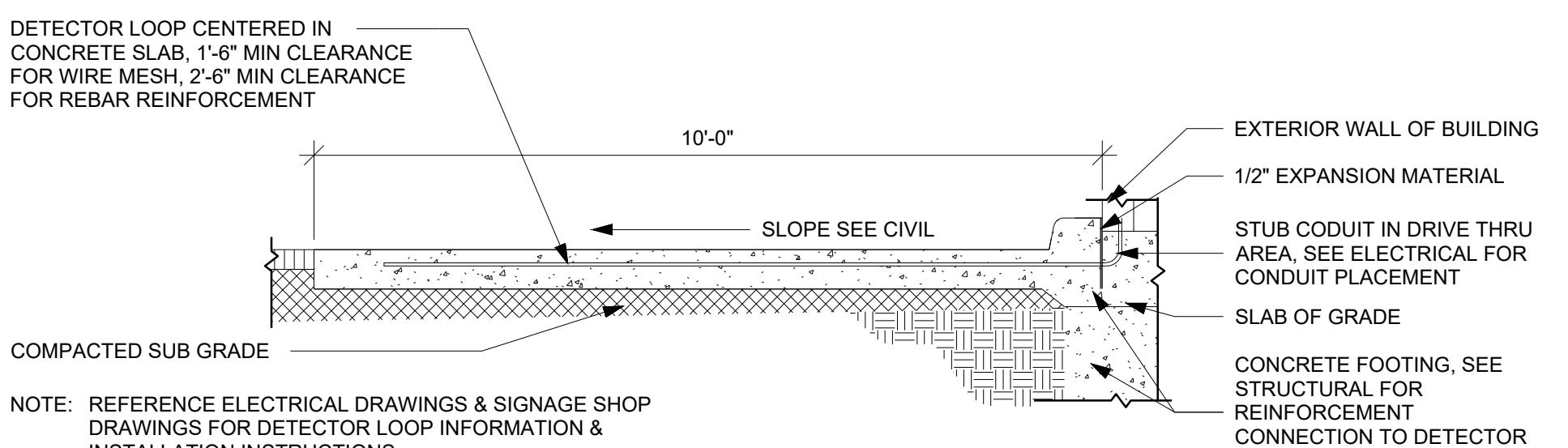
VEHICLE LOOP DETECTOR

SCALE: NTS



DETECTOR LOOP IN CONCRETE PAD (DRIVE-THRU ORDER POINT SECTION)

SCALE: NTS

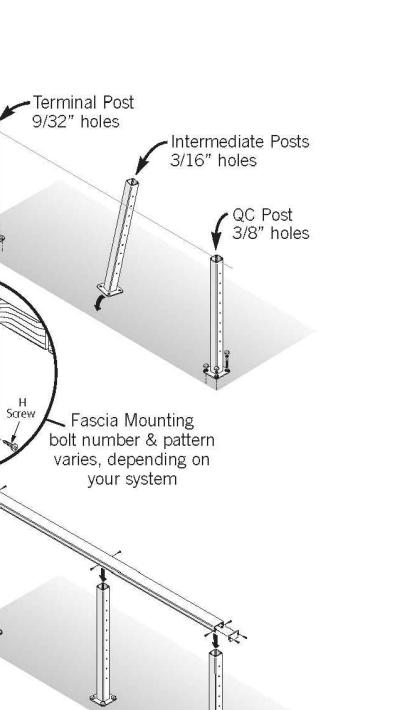


DETECTOR LOOP IN CONCRETE PAD (DRIVE-THRU SERVICE WINDOW SECTION)

SCALE: NTS

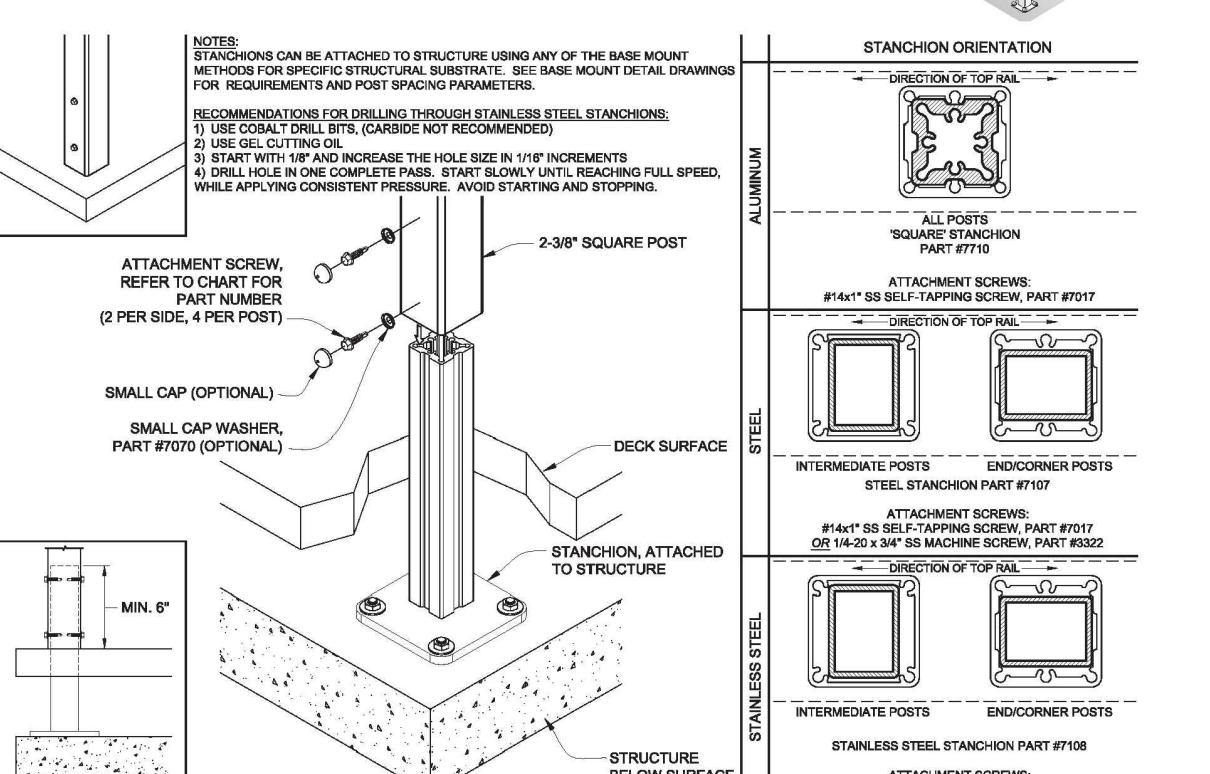


Series 100, horizontal cables, black finish



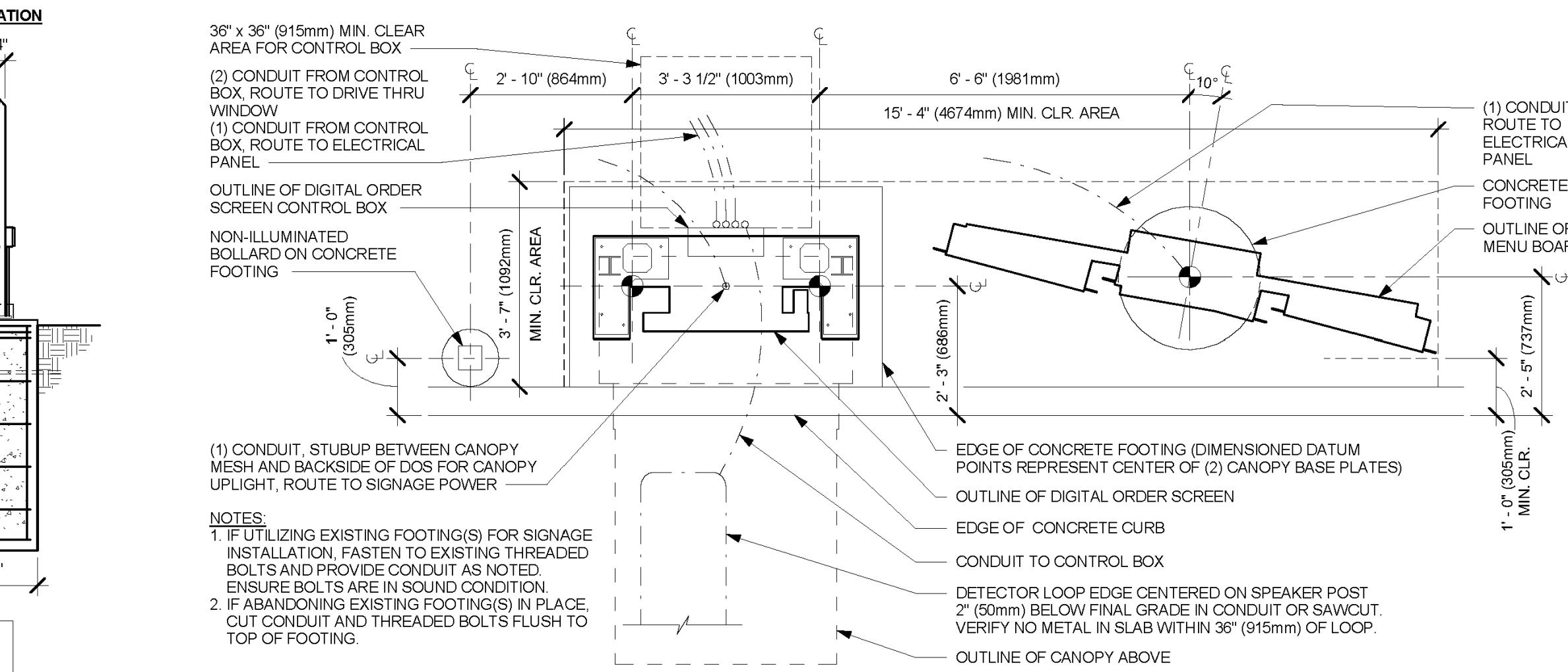
DTE - WAYFINDING GRAPHIC ARROW - SINGLE

SCALE: NTS



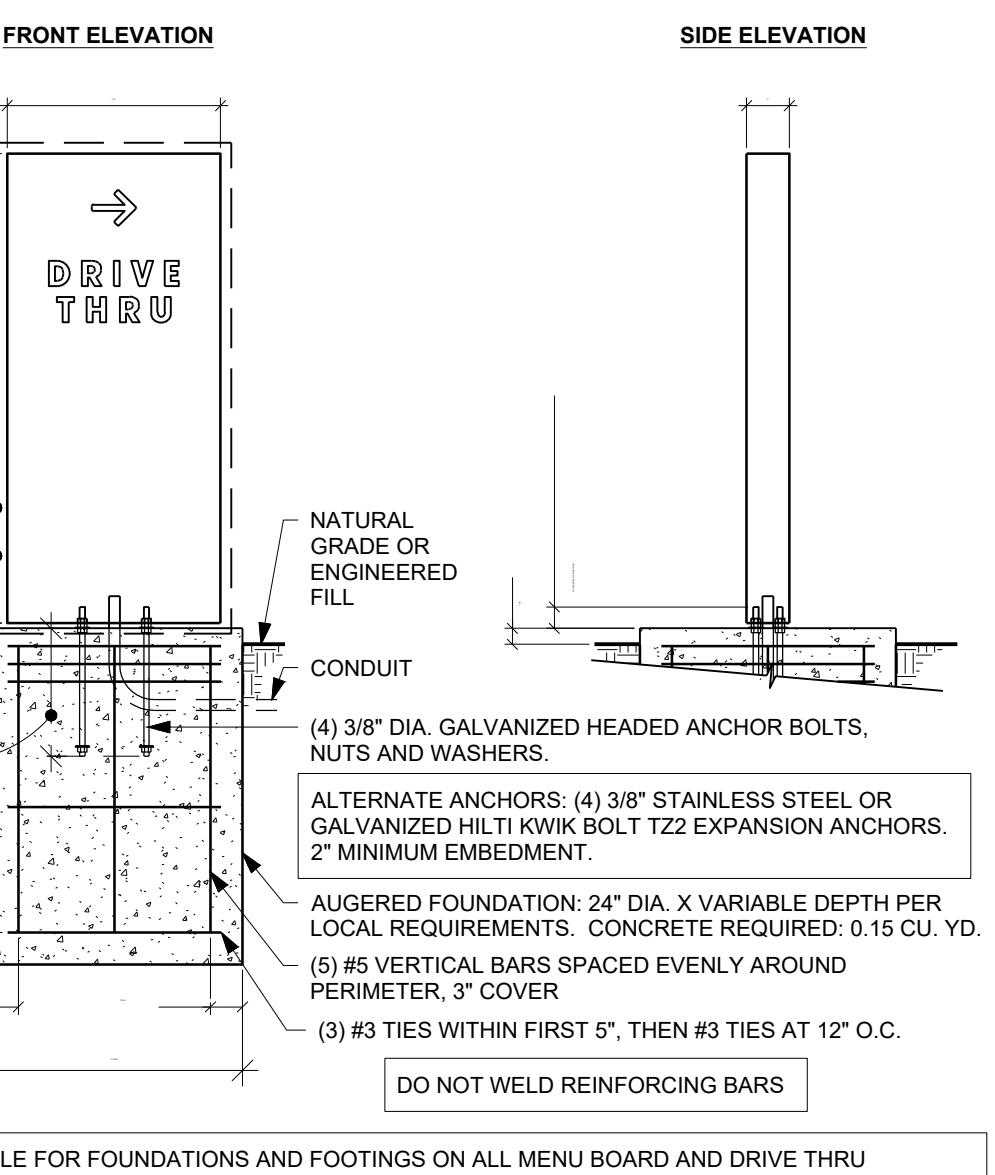
PATIO FENCE DETAIL (OR APPROVED EQUAL)

SCALE: NTS



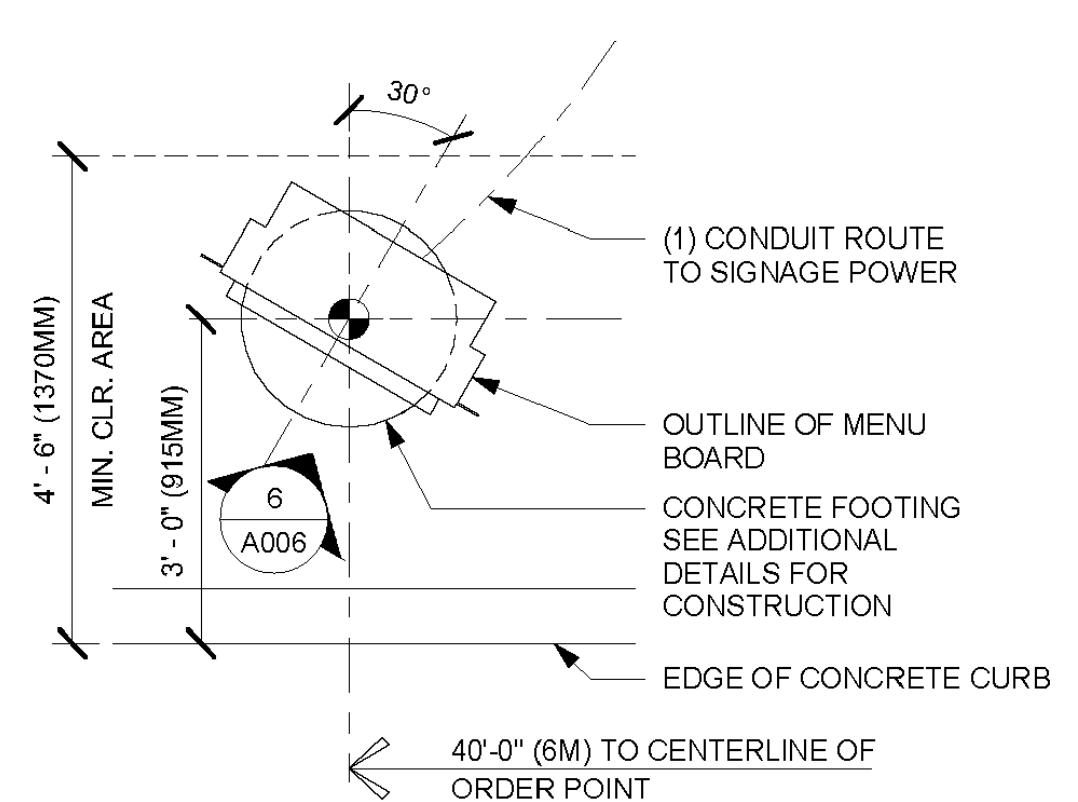
5-PANEL MENU BOARD AND CANOPY

SCALE: NTS



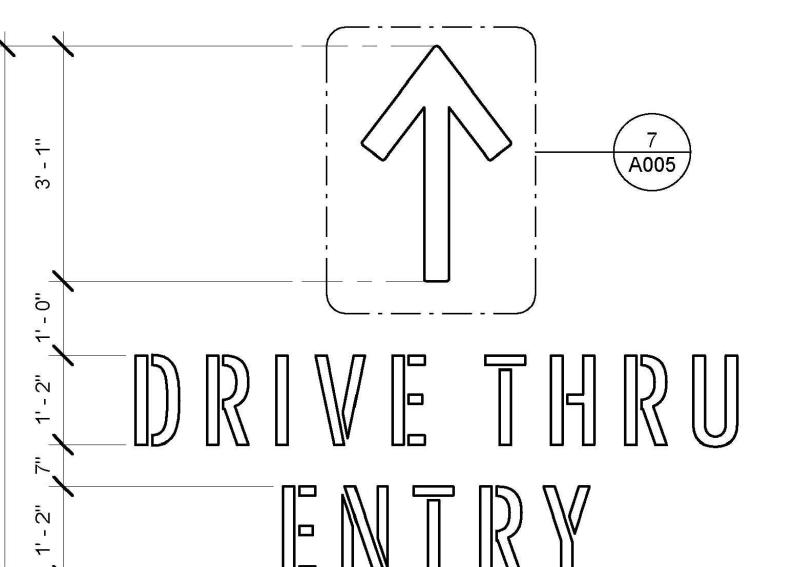
DT DIRECTIONAL SIGNAGE

SCALE: NTS



DTE - PRE-MENU 30 DEGREE

SCALE: NTS



DTE - WAYFINDING GRAPHIC ARROW - ENTRY

SCALE: NTS

Rev. #:	Date	Description
 <b>SOLLI</b> <b>ENGINEERING</b> MONROE, CT   W. HARTFORD, CT   NORWOOD, MA SOLLINEERING.COM T: (203) 880-5455   F: (203) 880-6995		
Drawn By:	PDS	 KEVIN M. SOLLI NO. 51952 PROFESSIONAL ENGINEER Kevin Solli, P.E. MA 51952
Checked By:	CJB	
Approved By:	KMS	
Project #:	2203701	
Plan Date:	12/18/24	
Scale:	NTS	
Project:		
<b>BRIDGE STREET LANDING</b> 5 ARLINGTON STREET DRACUT, MASSACHUSETTS		
Sheet Title:	Sheet #:	3.05
The endorsement above is not a determination by the planning board as to compliance with the zoning bylaws.		